



Gary Montoya, Chair
Cristian Gonzalez-Torres, Secretary
Claud Hanes
Sierra Fedder

Kathy Kvasnicka, Vice-Chair
Eugene Reynolds, Treasurer
Mark Grajeda
Kevin Ross

AGENDA
FORT LUPTON URBAN RENEWAL AUTHORITY
REGULAR MEETING

130 South McKinley Avenue
Thursday, July 17, 2025
6:00 PM

Call to Order

Approval of Agenda

Consent Agenda - Consent Agenda items are considered to be routine and will be enacted by one motion and vote. There will be no separate discussion of Consent Agenda items unless a Councilmember so requests, in which case the item may be removed/moved from the Consent Agenda.

- a. May 20 2025 Minutes

Public Comment This portion of the Agenda is provided to allow members of the audience to present comments to the Board. The Board may not respond to your comments this evening, rather they may take your comments and suggestions under advisement or your question may be directed to the appropriate staff member for follow-up.

Accounts Payable

- a. May 2025 Accounts Payable

Action Item(s)

- a. Building Renovation Grant Program Application: 237 Denver Avenue Exterior Facade
- b. Building Renovations Grant Program Application: 237 Denver Avenue Interior Flooring
- c. Building Renovations Grant Program Application: 721 4th St Renovation of Office to Apartments

New Business

- a. Staff Discussions on Downtown Projects

Old Business

Board Reports

Adjourn

Please join my meeting from your computer, tablet or smartphone.

<https://meet.goto.com/977393597>

You can also dial in using your phone.

Access Code: 977-393-597

United States: [+1 \(571\) 317-3112](tel:+15713173112)

Get the app now and be ready when your first meeting starts:

<https://meet.goto.com/install>

If you would like to participate remotely, we encourage you to test the phone number and links provided above prior to the start of the meeting, as each device requires initial adjustment. It is also recommended to log into the meeting early, and if you encounter any issues to call 303-990-4270 or email PlanningDept@fortluptonco.gov immediately.

When calling in, please be sure to mute your microphone on your computer, phone or tablet. Planning staff and/or the Chairman will provide instructions on when and how comments can be made by the public virtually.

**RECORD OF PROCEEDINGS
FORT LUPTON URBAN RENEWAL AUTHORITY
March 20th, 2025**

Call to Order

Gary Montoya called the meeting to order at 6:00PM.

Roll Call

Kathy Kvasnicka, Gary Montoya, Cristian Gonzalez, Mark Grajeda, Claud Hanes

Approval of Agenda

There was a motion to approve the agenda. The agenda was approved. The minutes were approved for the February meeting.

Consent Agenda

There was a motion to approve the agenda. Approved by the board.

Public Comment

None.

Accounts Payable

a. February FLURA Accounts Payable- Michelle updated the board about items on the audit.

Action items

a. Building Renovation Grant Application: 327 Denver Ave (Lucky Shot)
Approved for their application. Moved by Kathy, and seconded by Cristian.

New Business

- a. 237 Denver Ave (Original Dale's Pharmacy) Discussion: Rain Damage Repair
Need to come back in regards to fixes. Do they have some sort of coverage?

Old Business

- a. Denver Ave Streetscape Survey Update
31 surveys to be done to take care of drainage issues in collaboration. No quote received yet. City Council agreed to cover 50% for the survey.

Staff Reports

- a. DCI trainings in June and July. Gay going to DCI trainings and will report back.

Board Reports

- a. Fire inspections and permit reviews

Adjournment

Gary adjourned the meeting. Next meeting will be April 17th, 2025 at 6:00 PM.

Submitted by:

Cristian Gonzalez-Torres, Secretary

Approved by Fort Lupton Urban Renewal Authority

Gary Montoya, Chairperson



PRELIMINARY FINANCIAL STATEMENTS

For the Month Ended
May 31, 2025

Account	Name	Prior Year Balance	Current Year Balance	Variance Favorable / (Unfavorable)
Fund: 820 - FLURA				
Assets				
BalSubCategory: 100 - Cash And Cash Equivalents				
820-100100	CASH - ALLOCATED POOLED CASH	0.00	0.00	0.00
820-100300	CASH - FLURA	833,473.73	1,308,229.45	474,755.72
	Total BalSubCategory 100 - Cash And Cash Equivalents:	833,473.73	1,308,229.45	474,755.72
BalSubCategory: 110 - Accounts Receivables				
820-110150	ACCOUNTS RECEIVABLE - OTHER	0.00	0.00	0.00
	Total BalSubCategory 110 - Accounts Receivables:	0.00	0.00	0.00
BalSubCategory: 113 - Property Tax Receivable				
820-110250	PROPERTY TAX RECEIVABLE	840,592.48	840,592.48	0.00
	Total BalSubCategory 113 - Property Tax Receivable:	840,592.48	840,592.48	0.00
	Total Assets:	1,674,066.21	2,148,821.93	474,755.72
Liability				
BalSubCategory: 201 - Accounts Payable				
820-201000	ACCOUNTS PAYABLE	1,553.60	0.00	1,553.60
	Total BalSubCategory 201 - Accounts Payable:	1,553.60	0.00	1,553.60
BalSubCategory: 210 - Due to Other Funds				
820-207200	DUE TO PRIMARY GOV	0.00	0.00	0.00
	Total BalSubCategory 210 - Due to Other Funds:	0.00	0.00	0.00
BalSubCategory: 240 - Deferred Inflow of Resources				
820-202250	DEFERRED PROPERTY TAX	840,592.48	840,592.48	0.00
	Total BalSubCategory 240 - Deferred Inflow of Resources:	840,592.48	840,592.48	0.00
	Total Liability:	842,146.08	840,592.48	1,553.60
Equity				
BalSubCategory: 310 - Unrestricted Reserve				
820-310000	FUND BALANCE	819,426.54	819,426.54	0.00
	Total BalSubCategory 310 - Unrestricted Reserve:	819,426.54	819,426.54	0.00
BalSubCategory: 316 - Emergency Reserves				
820-310210	RESTRICTED - TABOR RESERVE	12,843.79	12,843.79	0.00
	Total BalSubCategory 316 - Emergency Reserves:	12,843.79	12,843.79	0.00
	Total Beginning Equity:	832,270.33	832,270.33	0.00
Total Revenue		143.46	489,632.16	489,488.70
Total Expense		493.66	13,673.04	-13,179.38
Revenues Over/(Under) Expenses		-350.20	475,959.12	476,309.32
	Total Equity and Current Surplus (Deficit):	831,920.13	1,308,229.45	476,309.32
	Total Liabilities, Equity and Current Surplus (Deficit):	1,674,066.21	2,148,821.93	474,755.72

Budget Comparison Report

Account Detail

City of Fort Lupton

Account Number		2024 Total Activity	2025 Total Activity	2025 YTD Activity Through May	Parent Budget 2025 APPROVED	Comparison 1 Budget	Comparison 1 to Parent Budget Increase / (Decrease)	%
Fund: 820 - FLURA								
Revenue								
820-9100-311010	TIF INCREMENT	531,549.77	488,679.26	488,679.26	800,799.00	0.00	-800,799.00	-100.00%
820-9100-311011	TIF INCREMENT REFUND	-171,171.75	0.00	0.00	-126,865.00	0.00	126,865.00	-100.00%
820-9100-361600	INTEREST EARNED	1,709.65	952.90	952.90	0.00	0.00	0.00	0.00%
820-9100-390200	TABOR RESERVE	0.00	0.00	0.00	17,611.00	0.00	-17,611.00	-100.00%
820-9100-390400	UNAPPROPRIATED RESERVES	0.00	0.00	0.00	738,303.00	0.00	-738,303.00	-100.00%
	Total Revenue:	362,087.67	489,632.16	489,632.16	1,429,848.00	0.00	-1,429,848.00	-100.00%
Expense								
820-9100-520100	GENERAL SUPPLIES	155.13	0.00	0.00	500.00	0.00	-500.00	-100.00%
820-9100-530600	CONTRACTUAL SERVICES	51.12	7,248.23	6,343.19	95,000.00	0.00	-95,000.00	-100.00%
820-9100-530800	DUES & SUBSCRIPTIONS	2,034.38	0.00	0.00	1,500.00	0.00	-1,500.00	-100.00%
820-9100-531200	LEGAL FEES	150.00	0.00	0.00	10,000.00	0.00	-10,000.00	-100.00%
820-9100-531600	PLANS & STUDIES	0.00	0.00	0.00	15,000.00	0.00	-15,000.00	-100.00%
Budget Notes								
Budget Code	Subject	Description						
APPROVED	2025	Brownfield Projects - \$15,000						
820-9100-531800	POSTAGE	2.07	0.00	0.00	800.00	0.00	-800.00	-100.00%
820-9100-532800	STAFF DEVELOPMENT	435.00	0.00	0.00	5,000.00	0.00	-5,000.00	-100.00%
820-9100-533000	TRAVEL & MEETINGS	3,025.17	0.00	0.00	2,500.00	0.00	-2,500.00	-100.00%
820-9100-551850	GRANTS - TIF	52,474.49	0.00	0.00	200,000.00	0.00	-200,000.00	-100.00%
Budget Notes								
Budget Code	Subject	Description						
APPROVED	2025	Building Renovation Grant - \$100000						
APPROVED	2025	Carryover - Carryover from 2024 for outstanding grant awards \$50,000						
APPROVED	2025	Multi Year Funding Opportunities - Economic Development assistance opportunities \$50,000						
820-9100-553500	MISC EXPENDITURES	6,180.61	7,329.85	7,329.85	10,000.00	0.00	-10,000.00	-100.00%
820-9100-575000	CAPITAL PROJECTS	0.00	0.00	0.00	25,000.00	0.00	-25,000.00	-100.00%
Budget Notes								
Budget Code	Subject	Description						
APPROVED	2025	Bench & Shade Structure Project - \$25,000						

Budget Comparison Report

Account Number	2024 Total Activity	2025 Total Activity	2025 YTD Activity Through May	Parent Budget	Comparison 1 Budget	Comparison 1 to Parent Budget	%
				2025 APPROVED		Increase / (Decrease)	
820-9100-580450	20,000.00	0.00	0.00	0.00	0.00	0.00	0.00%
820-9100-590200	0.00	0.00	0.00	20,218.00	0.00	-20,218.00	-100.00%
Total Expense:	84,507.97	14,578.08	13,673.04	385,518.00	0.00	-385,518.00	-100.00%
Total Fund: 820 - FLURA:	277,579.70	475,054.08	475,959.12	1,044,330.00	0.00	-1,044,330.00	-100.00%
Report Total:	277,579.70	475,054.08	475,959.12	1,044,330.00	0.00	-1,044,330.00	-100.00%

Budget Comparison Report

Group Summary

Account Typ...	2024 Total Activity	2025 Total Activity	2025 YTD Activity Through May	Parent Budget	Comparison 1	Comparison 1	%
				2025 APPROVED	Budget	to Parent Budget Increase / (Decrease)	
Fund: 820 - FLURA							
Revenue	362,087.67	489,632.16	489,632.16	1,429,848.00	0.00	-1,429,848.00	-100.00%
Expense	84,507.97	14,578.08	13,673.04	385,518.00	0.00	-385,518.00	-100.00%
Total Fund: 820 - FLURA:	277,579.70	475,054.08	475,959.12	1,044,330.00	0.00	-1,044,330.00	-100.00%
Report Total:	277,579.70	475,054.08	475,959.12	1,044,330.00	0.00	-1,044,330.00	-100.00%

Budget Comparison Report

Fund Summary

Fund	2024	2025	2025	Parent Budget	Comparison 1	Comparison 1	%
	Total Activity	Total Activity	YTD Activity Through May	2025 APPROVED	Budget	to Parent Budget Increase / (Decrease)	
820 - FLURA	277,579.70	475,054.08	475,959.12	1,044,330.00	0.00	-1,044,330.00	-100.00%
Report Total:	277,579.70	475,054.08	475,959.12	1,044,330.00	0.00	-1,044,330.00	-100.00%

Detail Report Account Detail

Date Range: 05/01/2025 - 05/31/2025

Account	Name	Beginning Balance	Total Activity	Ending Balance				
Fund: 820 - FLURA								
820-100300	CASH - FLURA	1,106,313.80	201,915.65	1,308,229.45				
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
05/09/2025	GLPKT35020	JN17184		Weld County TIF Increment & Treasurer...			202,041.89	1,308,355.69
05/13/2025	APPKT06466	10181		CITY OF FORT LUPTON	001237 - CITY OF FORT LUPTON		-383.96	1,307,971.73
05/30/2025	GLPKT35269	JN17293		05/30/25 FLURA BOC May 2025 Interest...			257.72	1,308,229.45
820-201000 ACCOUNTS PAYABLE								
						0.00	0.00	0.00
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
05/02/2025	APPKT06452	FIN2025914	10181	FLURA-2024 YEAR END FEES BILLED IN A...	001237 - CITY OF FORT LUPTON		-383.96	-383.96
05/13/2025	APPKT06466	10181		CITY OF FORT LUPTON PBL	001237 - CITY OF FORT LUPTON		383.96	0.00
820-9100-311010 TIF INCREMENT								
						-283,560.86	-205,118.40	-488,679.26
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
05/09/2025	GLPKT35020	JN17184		Weld County TIF Increment & Treasurer...			-205,118.40	-488,679.26
820-9100-361600 INTEREST EARNED								
						-695.18	-257.72	-952.90
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
05/30/2025	GLPKT35269	JN17293		05/30/25 FLURA BOC May 2025 Interest...			-257.72	-952.90
820-9100-530600 CONTRACTUAL SERVICES								
						5,959.23	383.96	6,343.19
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
05/02/2025	APPKT06452	FIN2025914	10181	FLURA-2024 YEAR END FEES BILLED IN A...	001237 - CITY OF FORT LUPTON		383.96	6,343.19
820-9100-553500 MISC EXPENDITURES								
						4,253.34	3,076.51	7,329.85
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
05/09/2025	GLPKT35020	JN17184		Weld County TIF Increment & Treasurer...			3,076.51	7,329.85
Total Fund: 820 - FLURA:		Beginning Balance: 832,270.33		Total Activity: 0.00		Ending Balance: 832,270.33		
Grand Totals:		Beginning Balance: 832,270.33		Total Activity: 0.00		Ending Balance: 832,270.33		

Fund Summary

Fund	Beginning Balance	Total Activity	Ending Balance
820 - FLURA	832,270.33	0.00	832,270.33
Grand Total:	832,270.33	0.00	832,270.33

Income Statement Account Summary

For Fiscal: 2025 Period Ending: 05/31/2025

		Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	Budget Remaining
Fund: 820 - FLURA						
Revenue						
820-9100-311010	TIF INCREMENT	800,799.00	800,799.00	205,118.40	488,679.26	312,119.74
820-9100-311011	TIF INCREMENT REFUND	-126,865.00	-126,865.00	0.00	0.00	-126,865.00
820-9100-361600	INTEREST EARNED	0.00	0.00	257.72	952.90	-952.90
820-9100-390200	TABOR RESERVE	17,611.00	17,611.00	0.00	0.00	17,611.00
820-9100-390400	UNAPPROPRIATED RESERVES	738,303.00	738,303.00	0.00	0.00	738,303.00
	Revenue Total:	1,429,848.00	1,429,848.00	205,376.12	489,632.16	940,215.84
Expense						
820-9100-520100	GENERAL SUPPLIES	500.00	500.00	0.00	0.00	500.00
820-9100-530600	CONTRACTUAL SERVICES	95,000.00	95,000.00	383.96	6,343.19	88,656.81
820-9100-530800	DUES & SUBSCRIPTIONS	1,500.00	1,500.00	0.00	0.00	1,500.00
820-9100-531200	LEGAL FEES	10,000.00	10,000.00	0.00	0.00	10,000.00
820-9100-531600	PLANS & STUDIES	15,000.00	15,000.00	0.00	0.00	15,000.00
820-9100-531800	POSTAGE	800.00	800.00	0.00	0.00	800.00
820-9100-532800	STAFF DEVELOPMENT	5,000.00	5,000.00	0.00	0.00	5,000.00
820-9100-533000	TRAVEL & MEETINGS	2,500.00	2,500.00	0.00	0.00	2,500.00
820-9100-551850	GRANTS - TIF	200,000.00	200,000.00	0.00	0.00	200,000.00
820-9100-553500	MISC EXPENDITURES	10,000.00	10,000.00	3,076.51	7,329.85	2,670.15
820-9100-575000	CAPITAL PROJECTS	25,000.00	25,000.00	0.00	0.00	25,000.00
820-9100-590200	TABOR RESERVE	20,218.00	20,218.00	0.00	0.00	20,218.00
	Expense Total:	385,518.00	385,518.00	3,460.47	13,673.04	371,844.96
	Fund: 820 - FLURA Surplus (Deficit):	1,044,330.00	1,044,330.00	201,915.65	475,959.12	
	Total Surplus (Deficit):	1,044,330.00	1,044,330.00	201,915.65	475,959.12	

Income Statement

For Fiscal: 2025 Period Ending: 05/31/2025

Group Summary

Account Type	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	Budget Remaining
Fund: 820 - FLURA					
Revenue	1,429,848.00	1,429,848.00	205,376.12	489,632.16	940,215.84
Expense	385,518.00	385,518.00	3,460.47	13,673.04	371,844.96
Fund: 820 - FLURA Surplus (Deficit):	1,044,330.00	1,044,330.00	201,915.65	475,959.12	568,370.88
Total Surplus (Deficit):	1,044,330.00	1,044,330.00	201,915.65	475,959.12	

Income Statement

For Fiscal: 2025 Period Ending: 05/31/2025

Fund Summary

Fund	Original Total Budget	Current Total Budget	MTD Activity	YTD Activity	Budget Remaining
820 - FLURA	1,044,330.00	1,044,330.00	201,915.65	475,959.12	568,370.88
Total Surplus (Deficit):	1,044,330.00	1,044,330.00	201,915.65	475,959.12	

Check Report

By Check Number

Date Range: 05/01/2025 - 05/31/2025

City of Fort Lupton

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Payable #	Payable Type	Post Date	Payable Description	Discount Amount	Payable Amount	
Bank Code: FLURA-FLURA Fund						
001237	CITY OF FORT LUPTON	05/13/2025	Regular	0.00	383.96	10181
FIN2025914	Invoice	05/02/2025	FLURA-2024 YEAR END FEES BILLED IN APR...	0.00	383.96	

Bank Code FLURA Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	1	1	0.00	383.96
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	1	1	0.00	383.96

All Bank Codes Check Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	1	1	0.00	383.96
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	1	1	0.00	383.96

Fund Summary

Fund	Name	Period	Amount
820	FLURA	5/2025	383.96
			383.96



To: FLURA Board
From: Zachary Mettler, Planner 1 & Liaison to FLURA
Date: July 17, 2025
Re: Action Memorandum to make a determination of a FLURA Building Renovation Grant Application for 237 Denver Avenue Exterior Façade Restoration and Repair

Hello FLURA Board,

Staff is in receipt of a Building Renovation Grant Program Application by the property owner of 237 Denver Avenue for Exterior Brick Façade Repair. The scope includes restoring and repairing brick and mortar, power washing, and sealing repair work with a waterproofing sealant.

The work being proposed is along the rear west side of the site and the southern side between the property and 235 Denver Avenue. None of the work faces streets.

The two cost estimates range from \$6,350 to \$9,260.

The FLURA grant match request is between \$3,175 to \$4,630.

The Program Guidelines list restoration and cleaning of masonry as an eligible improvement. It also states that power washing is discouraged as a method of cleaning brick on any building receiving grant funding.

The Board may decide to either not award the grant, or award it at an amount the Board feels is appropriate based on the submitted documents.

For further details, attached in the packet are Exhibits A, B, and C. Exhibit A depicts the location of work on the site and examples of brick to be repaired. Exhibit B is one application and quote for one contractor. Exhibit C is a second application and quote for a second contractor.

Building Renovation Grant Program Application

A. CONTACT INFORMATION

1) Applicant Name: William J. Dale
 Business Name: Property Owner
 Phone: (720) 490-5801 Email: thedalebuilding@gmail.com
 Address: 79 Elizabeth Way Lakeview, Arkansas 72642

Are you the owner of the property you are requesting grant funding for? Yes No

If you responded no, please provide the property owner's information under Paragraph A(2).

2) Property Owner Name: _____
 Company: _____
 Phone: _____ Email: _____
 Address: _____

B. SITE INFORMATION *(Verify the Property is in the Program Area (Appendix 1 of the Guidelines) prior to submitting an Application.)*

Site Address: 237 Denver Ave. Fort Lupton, CO 80621
 Parcel Number: 147106131011

Is this property historically designated? Yes No

C. PROJECT DESCRIPTION

Please provide a short description of the proposed project in the space provided below:
 Proposed Project: In accordance with the International Building Code:

1. Restoration and repair of Brick and Mortar as needed.
 2. Water proofing where needed.
- *See attached estimate from R. Campos Masonry Corp. for details.*
- _____

Describe how the proposed project will improve the overall look of the Grant Area:

Addressing the brick repair and waterproofing is crucial for both aesthetic improvement and structural integrity, particularly because this area supports the second floor.

The primary issue is water intrusion that has caused this area to become unusable. Floors and walls have significant damage and will need to be replaced, but first we need to fix the brick. Fixing the brick will stop further water damage and allow us to renovate this area into usable space for our tenants.

D. PROJECT COSTS

ITEMIZATION OF PROJECT COSTS

Project costs provided should be based on the receipt of two contractor bids, unless the proposed improvements are exempt from this requirement under the Guidelines.

Description of Cost	Cost Estimate
Repair of brick and mortar where needed. Waterproofing where needed.	\$9,260.00
See attached estimate for details.	
Total Estimated Project Cost:	\$9,260.00
Total Grant Amount Requested: <i>(not to exceed 50% of project cost)</i>	\$4,630.00

E. REQUIRED DOCUMENTS

This application must be fully complete, and the following documents submitted, in order for the Fort Lupton Urban Renewal Authority to consider the request:

- Proof that a pre-application conference was held with FLURA staff to discuss the project prior to submitting the Application. This conference must be take place at least two weeks prior to the application deadline. Contact FLURA staff at 303.857.6694 to schedule this meeting.
- Architectural renderings, site plans and/or other visual representations of the proposed improvements. For paint, a paint sample of the proposed color should be provided.
- Photos of the building. For exterior façade improvements, provide photos for all sides of the building that improvements are being requested for. For International Building Code and/or International Fire Code improvements, a photo of the front elevation of the building, as well as the interior portion of the building where renovations are being requested for should be submitted.
- Two estimates from contractors, except that applications for painting a façade do not require a contractor estimate.
- For an application for signage, initial approval from the City of Fort Lupton Building Department must be provided.
- The property owner shall submit proof of ownership of the building.
- For historically designated buildings, a report of acceptability stating the work is approved by the Fort Lupton Historic Preservation Board. Note that the process to receive a report of acceptability can take a month or longer, so you should begin this process as soon as possible.

F. CERTIFICATIONS

Applicant Certification

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have the full intention and ability to complete the improvements described in this application if a Building Renovation Grant is awarded. I understand that I am required to enter into a Building Renovation Grant Agreement within 30 days of approval of a Grant award. If an Agreement is not finalized by that time, then the Grant award will be null and void. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Applicant: William J. Dale Date: 06/10/2005

Owner Certification

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I hereby authorize the applicant to apply for this Building Renovation Grant and to perform the improvements described in this application if a Building Renovation Grant is awarded.

Owner: William J. Dale Date: 06/10/2025

For Office Use Only

Received Date: _____

If the application is not complete, state reasons why it is incomplete:

Deemed Complete Date: _____

Instructions for Submitting the Building Renovation Grant Program Application

DEFINITIONS

Words in the singular include the plural and words in the plural include the singular.

Application refers to the official submittal to the Fort Lupton Urban Renewal Authority for review of the improvements described in the Building Renovation Grant Application. The Application includes the application form, all materials submitted for review of the project, and any additional information provided.

Project refers to the proposed improvements that the Applicant is applying for grant funding for as described in the Application.

Property refers to the land that is being proposed for improvements as described in the Application.

A. CONTACT INFORMATION

- 1) Provide contact information for all applicants that are authorized by the owners identified in Section A(2) to submit this application. If the contact information for all applicants will not fit on the space provided, submit a separate sheet for the additional representatives.
- 2) Provide contact information for all owners of any property that is the subject of the application. If the contact information for all owners will not fit on the space provided, submit a separate sheet for the additional owners.

B. SITE INFORMATION

Provide all information requested. Parcel numbers and address information may be found at the Weld County Property Portal at <https://www.co.weld.co.us/maps/propertyportal/>. To find out if a building is designated, please visit <http://www.fortlupton.org/425/Historic-Designation> or contact the Historic Preservation Board staff liaison at 303.857.6694. Applicant is responsible for ensuring the Property is located within the Building Renovation Grant Area (Appendix 1 of the Building Renovation Program Guidelines) prior to submitting an Application.

B. PROJECT DESCRIPTION

Please provide a description of the proposed improvements and how they will improve the Grant Area. Be sure to review the list of eligible and ineligible improvements in the Building Renovation Program Grant Guidelines prior to submitting an Application. If you need more space, please attach a separate sheet.

C. PROJECT COSTS

Provide an itemized list of estimated project costs for the project and the total estimated cost for the project. Attach supporting documentation for these costs, including two contractor bids (unless the project is for painting a façade). Also provide the total grant amount that applicant is requesting, which shall not exceed 50% of the project cost. If you need more space, please attach a separate sheet.

D. REQUIRED DOCUMENTS

FLURA staff will review all applications to ensure that it is complete and all required attachments are included. If there are items missing and the application has been submitted at least one week in advance of the application deadline, staff will inform the applicant of any missing information so they can supplement their application prior to the deadline.

E. CERTIFICATIONS

Applicant Certification. Provide the signature of the applicant(s) in this section.

Owner Certification. Provide the signature of all owners of the Property.

For any other questions, please contact the Fort Lupton Urban Renewal Authority staff at 303.857.6694.

R.Campos Masonry Corp

353 Baker Street
 Lonmont, Colorado 80501
 Phone: 303-775-2950
 Fax : 720-494-7515

Estimate

Date	Estimate #
6/7/2025	2025-10052

Name / Address
Dale 237 Denver Ave Fort Lupton, Co 80621 720-490-5801 wjdale47Amsn.com

E-mail	Project	
rolando_campos@msn.com		
Item	Description	Total
05 Masonry	Masonry 237 Denver Ave Boulder,co The tuck pointing work we estimate to do on the small building attached to the north of the main building included labor and material going to be necessary to complete the job, price is based on the next item. Build the scaffold and tuck pointing-----\$6,350.00 Power washed and install the sealer for the water-----\$2,910.00 Price is based on to today market price You have to provide with water,electricity,and Porta John (bathroom) This job required 50% of the amount when we start and the other 50% on the day we finish. For any questions and schedule please call me	9,260.00
Thank you for your business.		Total \$9,260.00

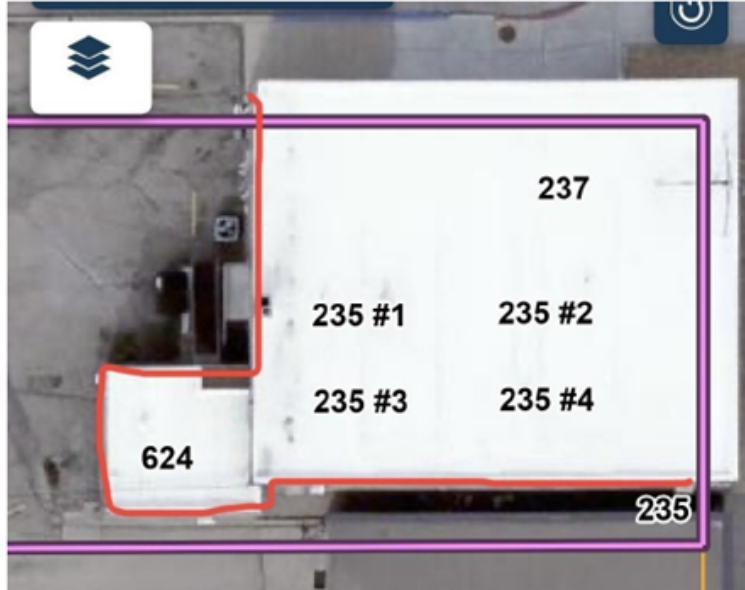
Exhibit A.

Site Plan for 237 Denver Ave.

Restore and repair brick and mortar on the West side of the building. Seal repair work with waterproofing sealant.

Restore and repair brick and mortar around the bump out area marked 624. Seal repair work with waterproofing sealant.

Restore and repair brick and mortar on South side of building. Seal repair work with waterproofing sealant



Building Renovation Grant Program Application

A. CONTACT INFORMATION

1) Applicant Name: William J. Dale
 Business Name: Property Owner
 Phone: (720) 490-5801 Email: thedalebuilding@gmail.com
 Address: 79 Elizabeth Way Lakeview, Arkansas 72642

Are you the owner of the property you are requesting grant funding for? Yes No

If you responded no, please provide the property owner's information under Paragraph A(2).

2) Property Owner Name: _____
 Company: _____
 Phone: _____ Email: _____
 Address: _____

B. SITE INFORMATION *(Verify the Property is in the Program Area (Appendix 1 of the Guidelines) prior to submitting an Application.)*

Site Address: 237 Denver Ave. Fort Lupton, CO 80621
 Parcel Number: 147106131011

Is this property historically designated? Yes No

C. PROJECT DESCRIPTION

Please provide a short description of the proposed project in the space provided below:
 Proposed Project: In accordance with the International Building Code:

1. Restoration and repair of Brick and Mortar as needed.
 2. Water proofing where needed.
- *See attached estimate from Joe's Masonry LLC for details.*
- _____

Describe how the proposed project will improve the overall look of the Grant Area:

Addressing the brick repair and waterproofing is crucial for both aesthetic improvement and structural integrity, particularly because this area supports the second floor.

The primary issue is water intrusion that has caused this area to become unusable. Floors and walls have significant damage and will need to be replaced, but first we need to fix the brick. Fixing the brick will stop further water damage and allow us to renovate this area into usable space for our tenants.

D. PROJECT COSTS

ITEMIZATION OF PROJECT COSTS

Project costs provided should be based on the receipt of two contractor bids, unless the proposed improvements are exempt from this requirement under the Guidelines.

Description of Cost	Cost Estimate
Repair of brick and mortar where needed. Waterproofing where needed.	\$6,350.00
See attached estimate for details.	
Total Estimated Project Cost:	\$6,350.00
Total Grant Amount Requested: <i>(not to exceed 50% of project cost)</i>	\$3,175.00

E. REQUIRED DOCUMENTS

This application must be fully complete, and the following documents submitted, in order for the Fort Lupton Urban Renewal Authority to consider the request:

- Proof that a pre-application conference was held with FLURA staff to discuss the project prior to submitting the Application. This conference must be take place at least two weeks prior to the application deadline. Contact FLURA staff at 303.857.6694 to schedule this meeting.
- Architectural renderings, site plans and/or other visual representations of the proposed improvements. For paint, a paint sample of the proposed color should be provided.
- Photos of the building. For exterior façade improvements, provide photos for all sides of the building that improvements are being requested for. For International Building Code and/or International Fire Code improvements, a photo of the front elevation of the building, as well as the interior portion of the building where renovations are being requested for should be submitted.
- Two estimates from contractors, except that applications for painting a façade do not require a contractor estimate.
- For an application for signage, initial approval from the City of Fort Lupton Building Department must be provided.
- The property owner shall submit proof of ownership of the building.
- For historically designated buildings, a report of acceptability stating the work is approved by the Fort Lupton Historic Preservation Board. Note that the process to receive a report of acceptability can take a month or longer, so you should begin this process as soon as possible.

F. CERTIFICATIONS

Applicant Certification

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have the full intention and ability to complete the improvements described in this application if a Building Renovation Grant is awarded. I understand that I am required to enter into a Building Renovation Grant Agreement within 30 days of approval of a Grant award. If an Agreement is not finalized by that time, then the Grant award will be null and void. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Applicant: William Dale Date: 6-10-25

Owner Certification

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I hereby authorize the applicant to apply for this Building Renovation Grant and to perform the improvements described in this application if a Building Renovation Grant is awarded.

Owner: William Dale Date: 6-10-25

For Office Use Only

Received Date: _____

If the application is not complete, state reasons why it is incomplete:

Deemed Complete Date: _____

Instructions for Submitting the Building Renovation Grant Program Application

DEFINITIONS

Words in the singular include the plural and words in the plural include the singular.

Application refers to the official submittal to the Fort Lupton Urban Renewal Authority for review of the improvements described in the Building Renovation Grant Application. The Application includes the application form, all materials submitted for review of the project, and any additional information provided.

Project refers to the proposed improvements that the Applicant is applying for grant funding for as described in the Application.

Property refers to the land that is being proposed for improvements as described in the Application.

A. CONTACT INFORMATION

- 1) Provide contact information for all applicants that are authorized by the owners identified in Section A(2) to submit this application. If the contact information for all applicants will not fit on the space provided, submit a separate sheet for the additional representatives.
- 2) Provide contact information for all owners of any property that is the subject of the application. If the contact information for all owners will not fit on the space provided, submit a separate sheet for the additional owners.

B. SITE INFORMATION

Provide all information requested. Parcel numbers and address information may be found at the Weld County Property Portal at <https://www.co.weld.co.us/maps/propertyportal/>. To find out if a building is designated, please visit <http://www.fortlupton.org/425/Historic-Designation> or contact the Historic Preservation Board staff liaison at 303.857.6694. Applicant is responsible for ensuring the Property is located within the Building Renovation Grant Area (Appendix 1 of the Building Renovation Program Guidelines) prior to submitting an Application.

B. PROJECT DESCRIPTION

Please provide a description of the proposed improvements and how they will improve the Grant Area. Be sure to review the list of eligible and ineligible improvements in the Building Renovation Program Grant Guidelines prior to submitting an Application. If you need more space, please attach a separate sheet.

C. PROJECT COSTS

Provide an itemized list of estimated project costs for the project and the total estimated cost for the project. Attach supporting documentation for these costs, including two contractor bids (unless the project is for painting a façade). Also provide the total grant amount that applicant is requesting, which shall not exceed 50% of the project cost. If you need more space, please attach a separate sheet.

D. REQUIRED DOCUMENTS

FLURA staff will review all applications to ensure that it is complete and all required attachments are included. If there are items missing and the application has been submitted at least one week in advance of the application deadline, staff will inform the applicant of any missing information so they can supplement their application prior to the deadline.

E. CERTIFICATIONS

Applicant Certification. Provide the signature of the applicant(s) in this section.

Owner Certification. Provide the signature of all owners of the Property.

For any other questions, please contact the Fort Lupton Urban Renewal Authority staff at 303.857.6694.

My quote is \$6,350 to get this job done with my guys. I would need payment throughout project as we will be there a few days. Please let me know if you would like to move forward. And I can get you on the schedule.

Joe 970-413-1279

Joes masonry llc

From: Jose Ybarra <joesmasonryllc323@gmail.com>

Sent: Friday, June 6, 2025 8:22:37 PM

To: wjdale47@msn.com <wjdale47@msn.com>

Subject:

Northside:

Bottom 16 inches of brick need grinded out ,washed clean and tuckpointed back in. There is about 1/4 inch of cement left which can cause further damage.

Ac unit :

There are several areas that need grinded and tuckpointing done bellow the ac unit. We will have to build 3 levels of scaffolding to get to this.

Westside:

Ac unit :

Behind the ac unit there are several areas that need grinded out washed out and tuckpointed back in as well.

There is a hole in the brick the size of a tennis ball that needs to have the brick cut out and washed and lay a new brick in place.

Several holes in the wall that need to be tuckpointed in so no moisture gets in behind the wall.

Bumpout:

There are several holes that need to be tuckpointed so no moisture gets in.

Southside:

Tuckpointing under first and second window.there is lots of missing mortar around this areas.

South eastside:

4 rows of missing mortar that needs to be grinded out and washed out clean and tuckpointed back in.

Gate:

There is missing mortar by the gate about 3 rows.

There is 4 rows of missing mortar by the pipe that need to be grinded out washed out clean and tuckpointed back in.

Lastly I will buy sealer and apply it to the bottom courses of the north side and the areas on the southeast side.

Building Renovation Grant Program Application

A. CONTACT INFORMATION

1) Applicant Name: William J. Dale

Business Name: Property Owner

Phone: (720) 490-5801 Email: thedalebuilding@gmail.com

Address: 79 Elizabeth Way Lakeview, Arkansas 72642

Are you the owner of the property you are requesting grant funding for? Yes No

If you responded no, please provide the property owner's information under Paragraph A(2).

2) Property Owner Name: _____

Company: _____

Phone: _____ Email: _____

Address: _____

B. SITE INFORMATION *(Verify the Property is in the Program Area (Appendix 1 of the Guidelines) prior to submitting an Application.)*

Site Address: 237 Denver Ave. Fort Lupton, CO 80621

Parcel Number: 147106131011

Is this property historically designated? Yes No

C. PROJECT DESCRIPTION

Please provide a short description of the proposed project in the space provided below:

Proposed Project:

Erie Flooring

Install 2600 SF of Intellect Carpet Tiles over existing new sub floor.

Describe how the proposed project will improve the overall look of the Grant Area:

Vacancy of this anchor building on Denver Ave. has been a blight to the Grant Area. We have managed to secure a lease and our goal is to improve the commercial space by adding new flooring over the existing new subfloor. This will improve the Grant Area by allowing the new tenants to open their doors to the community soon. The flooring needs to be installed first so the tenants can finish their buildout. The sooner we get this done, the sooner there will be, one less vacancy on Denver Ave. Retaining tenants is an important part of fostering a community that flourishes and prospers.

D. PROJECT COSTS

ITEMIZATION OF PROJECT COSTS

Project costs provided should be based on the receipt of two contractor bids, unless the proposed improvements are exempt from this requirement under the Guidelines.

Description of Cost	Cost Estimate
Installation of Intellect Carpet Tiles	\$7,257.00
See attached Estimate from Erie Flooring	
Total Estimated Project Cost:	\$7,257.00
Total Grant Amount Requested: <i>(not to exceed 50% of project cost)</i>	\$3,628.50

E. REQUIRED DOCUMENTS

This application must be fully complete, and the following documents submitted, in order for the Fort Lupton Urban Renewal Authority to consider the request:

- Proof that a pre-application conference was held with FLURA staff to discuss the project prior to submitting the Application. This conference must be take place at least two weeks prior to the application deadline. Contact FLURA staff at 303.857.6694 to schedule this meeting.
- Architectural renderings, site plans and/or other visual representations of the proposed improvements. For paint, a paint sample of the proposed color should be provided.
- Photos of the building. For exterior façade improvements, provide photos for all sides of the building that improvements are being requested for. For International Building Code and/or International Fire Code improvements, a photo of the front elevation of the building, as well as the interior portion of the building where renovations are being requested for should be submitted.
- Two estimates from contractors, except that applications for painting a façade do not require a contractor estimate.
- For an application for signage, initial approval from the City of Fort Lupton Building Department must be provided.
- The property owner shall submit proof of ownership of the building.
- For historically designated buildings, a report of acceptability stating the work is approved by the Fort Lupton Historic Preservation Board. Note that the process to receive a report of acceptability can take a month or longer, so you should begin this process as soon as possible.

F. CERTIFICATIONS

Applicant Certification

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have the full intention and ability to complete the improvements described in this application if a Building Renovation Grant is awarded. I understand that I am required to enter into a Building Renovation Grant Agreement within 30 days of approval of a Grant award. If an Agreement is not finalized by that time, then the Grant award will be null and void. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Applicant: William Dale Date: 06/23/2025

Owner Certification

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I hereby authorize the applicant to apply for this Building Renovation Grant and to perform the improvements described in this application if a Building Renovation Grant is awarded.

Owner: William Dale Date: 06/23/2025

For Office Use Only

Received Date: _____

If the application is not complete, state reasons why it is incomplete:

Deemed Complete Date: _____

Instructions for Submitting the Building Renovation Grant Program Application

DEFINITIONS

Words in the singular include the plural and words in the plural include the singular.

Application refers to the official submittal to the Fort Lupton Urban Renewal Authority for review of the improvements described in the Building Renovation Grant Application. The Application includes the application form, all materials submitted for review of the project, and any additional information provided.

Project refers to the proposed improvements that the Applicant is applying for grant funding for as described in the Application.

Property refers to the land that is being proposed for improvements as described in the Application.

A. CONTACT INFORMATION

- 1) Provide contact information for all applicants that are authorized by the owners identified in Section A(2) to submit this application. If the contact information for all applicants will not fit on the space provided, submit a separate sheet for the additional representatives.
- 2) Provide contact information for all owners of any property that is the subject of the application. If the contact information for all owners will not fit on the space provided, submit a separate sheet for the additional owners.

B. SITE INFORMATION

Provide all information requested. Parcel numbers and address information may be found at the Weld County Property Portal at <https://www.co.weld.co.us/maps/propertyportal/>. To find out if a building is designated, please visit <http://www.fortlupton.org/425/Historic-Designation> or contact the Historic Preservation Board staff liaison at 303.857.6694. Applicant is responsible for ensuring the Property is located within the Building Renovation Grant Area (Appendix 1 of the Building Renovation Program Guidelines) prior to submitting an Application.

B. PROJECT DESCRIPTION

Please provide a description of the proposed improvements and how they will improve the Grant Area. Be sure to review the list of eligible and ineligible improvements in the Building Renovation Program Grant Guidelines prior to submitting an Application. If you need more space, please attach a separate sheet.

C. PROJECT COSTS

Provide an itemized list of estimated project costs for the project and the total estimated cost for the project. Attach supporting documentation for these costs, including two contractor bids (unless the project is for painting a façade). Also provide the total grant amount that applicant is requesting, which shall not exceed 50% of the project cost. If you need more space, please attach a separate sheet.

D. REQUIRED DOCUMENTS

FLURA staff will review all applications to ensure that it is complete and all required attachments are included. If there are items missing and the application has been submitted at least one week in advance of the application deadline, staff will inform the applicant of any missing information so they can supplement their application prior to the deadline.

E. CERTIFICATIONS

Applicant Certification. Provide the signature of the applicant(s) in this section.

Owner Certification. Provide the signature of all owners of the Property.

For any other questions, please contact the Fort Lupton Urban Renewal Authority staff at 303.857.6694.

Erie Flooring

erie-flooring.net

Estimate

Mailing Address:

1668 Sandy Circle
Erie, CO 80516

Jim Kelsey 720-771-0875
Erie.Flooring@yahoo.com

Date	Estimate #
5/12/2025	878

Name / Address

Project
Kidz Corner Carpet Tiles

Description	Qty	Rate	Total
Estimate for installing Intellect carpet tiles over new subfloor. Using 2600 square feet as baseline, cost of carpet tiles including freight and tax.	318	0.00 14.50	0.00 4,611.00
Shaw 5000 Pressure Sensitive Adhesive, 4 gallon pail. Installation labor and handling per square yard.	3 318	140.00 7.00	420.00 2,226.00
		Total	\$7,257.00

Exhibit E.



Building Renovation Grant Program Application

A. CONTACT INFORMATION

1) Applicant Name: William J. Dale

Business Name: Property Owner

Phone: (720) 490-5801 Email: thedalebuilding@gmail.com

Address: 79 Elizabeth Way Lakeview, Arkansas 72642

Are you the owner of the property you are requesting grant funding for? Yes No

If you responded no, please provide the property owner's information under Paragraph A(2).

2) Property Owner Name: _____

Company: _____

Phone: _____ Email: _____

Address: _____

B. SITE INFORMATION *(Verify the Property is in the Program Area (Appendix 1 of the Guidelines) prior to submitting an Application.)*

Site Address: 237 Denver Ave. Fort Lupton, CO 80621

Parcel Number: 147106131011

Is this property historically designated? Yes No

C. PROJECT DESCRIPTION

Please provide a short description of the proposed project in the space provided below:

Proposed Project: LVT Flooring Installation

See Attached: New Peak Estimate

Describe how the proposed project will improve the overall look of the Grant Area:

Vacancy of this anchor building on Denver Ave has been a blight to the Grant Area. We have managed to secure a lease and our goal is to improve the commercial space by adding new flooring over the existing new subfloor. This will improve the grant area by allowing the new tenants to open their doors to the community soon. The floor needs to be installed first so the tenant can finish their buildout. The sooner we get this done, the sooner there will be one less vacancy on Denver Ave. Retaining tenants is an important part of fostering a community that flourishes and prospers.

D. PROJECT COSTS

ITEMIZATION OF PROJECT COSTS

Project costs provided should be based on the receipt of two contractor bids, unless the proposed improvements are exempt from this requirement under the Guidelines.

Description of Cost	Cost Estimate
Installation of LVT Flooring 2565 SF	\$16,956.00
See attached: Estimate from New Peak Flooring	
Total Estimated Project Cost:	\$16,956.00
Total Grant Amount Requested: <i>(not to exceed 50% of project cost)</i>	\$8,478.00

E. REQUIRED DOCUMENTS

This application must be fully complete, and the following documents submitted, in order for the Fort Lupton Urban Renewal Authority to consider the request:

- Proof that a pre-application conference was held with FLURA staff to discuss the project prior to submitting the Application. This conference must be take place at least two weeks prior to the application deadline. Contact FLURA staff at 303.857.6694 to schedule this meeting.
- Architectural renderings, site plans and/or other visual representations of the proposed improvements. For paint, a paint sample of the proposed color should be provided.
- Photos of the building. For exterior façade improvements, provide photos for all sides of the building that improvements are being requested for. For International Building Code and/or International Fire Code improvements, a photo of the front elevation of the building, as well as the interior portion of the building where renovations are being requested for should be submitted.
- Two estimates from contractors, except that applications for painting a façade do not require a contractor estimate.
- For an application for signage, initial approval from the City of Fort Lupton Building Department must be provided.
- The property owner shall submit proof of ownership of the building.
- For historically designated buildings, a report of acceptability stating the work is approved by the Fort Lupton Historic Preservation Board. Note that the process to receive a report of acceptability can take a month or longer, so you should begin this process as soon as possible.

F. CERTIFICATIONS

Applicant Certification

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have the full intention and ability to complete the improvements described in this application if a Building Renovation Grant is awarded. I understand that I am required to enter into a Building Renovation Grant Agreement within 30 days of approval of a Grant award. If an Agreement is not finalized by that time, then the Grant award will be null and void. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Applicant: William Dale Date: 06/23/2025

Owner Certification

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I hereby authorize the applicant to apply for this Building Renovation Grant and to perform the improvements described in this application if a Building Renovation Grant is awarded.

Owner: William Dale Date: 06/23/2025

For Office Use Only

Received Date: _____

If the application is not complete, state reasons why it is incomplete:

Deemed Complete Date: _____

Instructions for Submitting the Building Renovation Grant Program Application

DEFINITIONS

Words in the singular include the plural and words in the plural include the singular.

Application refers to the official submittal to the Fort Lupton Urban Renewal Authority for review of the improvements described in the Building Renovation Grant Application. The Application includes the application form, all materials submitted for review of the project, and any additional information provided.

Project refers to the proposed improvements that the Applicant is applying for grant funding for as described in the Application.

Property refers to the land that is being proposed for improvements as described in the Application.

A. CONTACT INFORMATION

- 1) Provide contact information for all applicants that are authorized by the owners identified in Section A(2) to submit this application. If the contact information for all applicants will not fit on the space provided, submit a separate sheet for the additional representatives.
- 2) Provide contact information for all owners of any property that is the subject of the application. If the contact information for all owners will not fit on the space provided, submit a separate sheet for the additional owners.

B. SITE INFORMATION

Provide all information requested. Parcel numbers and address information may be found at the Weld County Property Portal at <https://www.co.weld.co.us/maps/propertyportal/>. To find out if a building is designated, please visit <http://www.fortlupton.org/425/Historic-Designation> or contact the Historic Preservation Board staff liaison at 303.857.6694. Applicant is responsible for ensuring the Property is located within the Building Renovation Grant Area (Appendix 1 of the Building Renovation Program Guidelines) prior to submitting an Application.

B. PROJECT DESCRIPTION

Please provide a description of the proposed improvements and how they will improve the Grant Area. Be sure to review the list of eligible and ineligible improvements in the Building Renovation Program Grant Guidelines prior to submitting an Application. If you need more space, please attach a separate sheet.

C. PROJECT COSTS

Provide an itemized list of estimated project costs for the project and the total estimated cost for the project. Attach supporting documentation for these costs, including two contractor bids (unless the project is for painting a façade). Also provide the total grant amount that applicant is requesting, which shall not exceed 50% of the project cost. If you need more space, please attach a separate sheet.

D. REQUIRED DOCUMENTS

FLURA staff will review all applications to ensure that it is complete and all required attachments are included. If there are items missing and the application has been submitted at least one week in advance of the application deadline, staff will inform the applicant of any missing information so they can supplement their application prior to the deadline.

E. CERTIFICATIONS

Applicant Certification. Provide the signature of the applicant(s) in this section.

Owner Certification. Provide the signature of all owners of the Property.

For any other questions, please contact the Fort Lupton Urban Renewal Authority staff at 303.857.6694.



QUOTE #1128

SENT ON:

May 05, 2025

RECIPIENT:

Michael Bright

237 Denver Avenue
Fort Lupton, Colorado 80621

Phone: 303-406-2658

Email: office@gonewpeak.com

Website: www.gonewpeak.com

Product/Service	Description	Qty.	Unit Price	Total
Materials	LVT Flooring Installation - 2565 Square Feet	1	\$7,696.00	\$7,696.00
Materials	Rubber baseboards installed around the perimeter of the main floor, totaling 314 linear feet.	1	\$560.00	\$560.00
Materials	Miscellaneous materials including adhesive, self-leveling flooring, saw blades, fuel, and other related items.	1	\$300.00	\$300.00
Labor	Total cost to install LVT flooring on main floor.	1	\$7,800.00	\$7,800.00
Labor	Total labor charge to install rubber trim around the entire interior of main floor	1	\$600.00	\$600.00
			Total	\$16,956.00

This quote is valid for the next 30 days, after which values may be subject to change.



To: FLURA Board
From: Zachary Mettler, Planner 1 & Liaison to FLURA
Date: July 17, 2025
Re: Action Memorandum to make a determination of a FLURA Building Renovation Grant Application for 237 Denver Avenue Interior Finished Flooring

Hello FLURA Board,

Staff is in receipt of a Building Renovation Grant Program Application by the property owner of 237 Denver Avenue for Interior finished flooring; either carpet or laminate flooring depending on the contractor.

The work being proposed is for the first main floor, encompassing between 2565 to 2600 Sq Ft.

The two cost estimates range from \$7,257.00 to \$16,956.00.

The FLURA grant match request is between \$3,628.50 to \$8,478.00.

The Program Guidelines list interior improvements that are cosmetic in nature as an ineligible improvement.

The Board may decide to either not award the grant, or award it at an amount the Board feels is appropriate based on the submitted documents.

For further details, attached in the packet are Exhibits D, E, and F. Exhibit D shows interior photos of the existing subflooring. Exhibit E is one application and quote for one contractor. Exhibit F is a second application and quote for a second contractor.

BEST CHOICE FIRE PROTECTION, LLC.

*****PH 720-795-4110 State Lic. # 21S-05585*****

565 E 70TH Ave Unit 6-E
Denver, Co. 80229
Esteban@bestchoicefire.com

Esteban

*Ft Lupton Office
303 857 4603
www.bestchoicefire.com*

June 2, 2025

CUSTOMER:
BPH CONSTRUCTION CORP

PROJECT:
APARTMENT CONVERSION
721 4TH STREET
FORT LUPTON, CO 80621

Re: PROPOSAL FOR THE FIRE SPRINKLER SYSTEM

Attn: Mr. David Pierskalla

SCOPE OF SERVICES

- Provide fire sprinkler design and installation for address listed above
- The system will be considered a Stand Alone, (13R) City supply and a backflow preventer
- Provide all materials for fire sprinkler system
- Provide all labor for installation of fire sprinkler system
- Provide rough-inspection with the local fire authority listed below
- Provide final inspection
- Provide owner with above ground completion certificate
- Provide owner with system training.
- System Design – NFPA 13R Residential

The installation will be per. NFPA 13R standards and the local fire authority (Fort Lupton Fire Department)

OWNER RESPONSIBILITIES

- Provide fire alarm monitoring for system
- Provide line voltage to outside horn and strobe
- Provide adequate heat throughout entire residence
- Provide proper opening around each fire sprinkler head (1/8 maximum tolerance around head)
- Provide proper insulation for the CPVC pipe

INCLUSION:

1-year warranty
Butterball valve w/tamper switch
Ball valve
1CPVC pipe
CPVC fittings

Horn & Strobe
Reliable F1 res. Sidewalls
Reliable F1 res. Pendants
Spare sprinkler head box
Backflow Preventer

BEST CHOICE FIRE PROTECTION, LLC.

*****PH 720-795-4110 State Lic. # 21S-05585*****

Note: Best Choice Fire Protection may substitute materials at its discretion. Any and all substituted materials will be comparable and will meets or exceed NFPA 13 and UL listing criteria.

EXCLUSION:	Alarm wiring of any kind	Electrical wiring of any kind,
	Bond	patching dry wall
	Dry system	Trash dumpster
	Fire / booster pump	Hand drawn design
	Prevailing wages,	Fire extinguisher
	chlorinating of pipe	free standing FDC
	Anti-freeze	Expansion Tank
	Custom color trim plates	Scaffolding/Lift

Best Choice Fire Protection LLC, services will be provided as set forth in the scope of services for a fee of: **\$30,770.00**

Payment and terms: 1st Draw 15% of total contract amount at signing of proposal, 2nd Draw 75% of the total contract amount at the rough inspection, 3rd Draw remaining 10% at final. Draws 2 – 3 are net 15 days. Warranty, one year from date of final inspection.

Customer agrees to pay interest and penalties on all unpaid balances. Amounts past due over fifteen (15) days will incur a late payment charge of 15 % interest compounded monthly on the total unpaid balance. If said unpaid balance is collected, through an attorney or collection agency, the Customer agrees to pay all costs of collection, including all attorney's fees.

By signing this document, the owner and or owner representative have fully read and are agreement to all terms and conditions specified in this proposal.

This document shall consider in whole or impart a binding contractual agreement by and between BPH Construction Corp and Best Choice Fire Protection LLC.

Sincerely,

Esteban Acosta / President
BEST CHOICE FIRE PROTECTION, LLC.

Mr. David Pierskalla

Accepted: _____

Title: _____

Date: _____

EASTSIDE

Heating and Air Conditioning, Inc.
Ph.303-286-7644, Fax 303-286-7646
WEB www.eastsideheat.com

Purchaser's Name JOHN STINETT Date 6.30.25 Salesman BOE KAMPBELL
Street _____ Project RETROFIT Job Address 721 4TH ST FT LUPTON
City _____ State CO 80 Phone 303-472-2029 jstinn52@gmail.com

=====

In accordance with the terms, conditions and specifications hereinafter set forth, we propose to furnish and install the following: *PER PLANS DATED 5/7/25*

TF

- 1-DEMO EXISTING SYSTEMS
- 5-CARRIER 59SC6A026M14-10 96% FURNACE
- 5-CARRIER GA4SAN518 CONDENSOR
- 5-CARRIER CVAMA2417 COIL (COIL FLARE 17X14)
- 5-LOW AMBIENT KIT
- 6-LINESET 6/12
- 5-A/C PAD 32X32
- 8-SS2 CONDENSATE SAFTEY SWITCH
- 5-SECONDARY SAFTEY DRAIN PAN
- 5-2" PVC FURNACE VENT & CONCENTRIC VENT TERMINATION
- 1-LOT 1" LINED DUCT & FITINGS
- 1-LOT INSUL WRAPPED PIPING
- 1-LOT UN-INSULATED EXPOSED SPIRAL DUCT & FITTINGS (2ND FLOOR)
- 1-LOT DRYER VENTS & METAL DRYER BOX
- 1-LOT HONEYWELL P200-TH2110
- 1-LOT EXHAUST FANS
- 1-LOT GRILLES, REGISTERS
- 1-LOT SPIN-IN'S

TOTAL-----	\$70,500.00
TEST AND BALANCE-(IF REQUIRED)-----	\$ 2,400.00
	\$72,900.00

VE: EXHAUST FANS, A/C, GRILLS & REGISTERS

EXCLUDE: ROOF REPAIRS, ROOF CURB, CORING, DEMOLITION, SMOKE DETECTORS, ALL ASBESTOS, PERMITS, DUCT INSTALL POST FRAMING, POST FIRE RATING, PLUMBING, SPRINKLER, CONCRETE TEAROUT, ALL ELECTRIC HEATERS, ANYTHING NOT LISTED.

****NOT RESPONSIBLE FOR FIELD CHANGES MADE WITHOUT UPDATED DRAWINGS PRIOR TO INSTALL****

Total cost for above specified labor, materials and equipment is \$ 72,900.00 . Payment of this amount is due in full upon completion of work unless other terms are agreed upon before work is begun. Terms: NET 30 DAYS. CREDIT CARD CHARGE 3%.

Authorized Signature BOE KAMPBELL

ACCEPTANCE OF PROPOSAL

I hereby accept the above proposal and you are authorized to do the work as specified herein. I agree to pay the full contract price in accordance with the specified terms. Should this account, or any part hereof, become delinquent, I agree to pay an additional charge of 1.5 percent per month on all delinquent amounts. In the event this account is referred to an attorney for collection, I agree to pay reasonable attorney's fees and actual court costs.

Accepted: _____ Date: _____

STINNETT PLUMBING AND HEATING INC.

1041 Denver Avenue
 Fort Lupton Colorado 80621
 PH: 303-659-8471 Fax: 303-857-6211



CONTRACTOR Fort Playa LLC OWNER 721 4th
 DATE 6/30/25 PHONE _____ ADDRESS _____

QTY.	ITEM	#	FAUCET#	COLOR	Supply	PRICE
1	Kitchen	33X22XL SA	PFXC1917C	#200		250
2	Lavatory	PFX 2847	95"			190
1	Water closet	PFL401 EL	1.28	EB Seat 126"		130
1	Bath tub	60X30 ENzmb	Wallset PFX 7611		Overflow X	800
	Shower					
	Deck tub				Overflow	
	Utility Sink				Supply	
1	Garbage disp.	Badger I		\$106.02		107
1	Water heater	Size 50	Electra	Expansion Valve X		599
X	Auto washer rough-in		Utility box	X Home	\$3782	38
X	Ice maker utility box			\$27.52		30
	Basement bath rough-in	full		3/4	floor drain	
	Sillcocks					
X	Water pipe	Type	Pex			150
X	ARC. drains, waste, and vents,		Back flow			300
2	Roof flashings					25



X Gas pipe furnace 1 w/ 1 Cooktop 1 Range 1 fire 1 100

Total Material 2719 2719
 Tax 7885 1500
 Labor days 18 Each 3.5 day rate 425 total 1500
4295
 %40

PERMIT _____
 SEWER SERVICE _____
 WATER SERVICE _____
 RETAL _____

8000
 X5
 41054

9000 Mat
1500 3.5 Days

10500
17500 40

87500
Concrete

$$8000 - 9000 \times 5$$



FERGUSON ENTERPRISES LLC #1983
 22400 EAST 19TH AVENUE
 AURORA, CO 80019-0000

Deliver To:
 From: Robert L Todd
 robert.todd@ferguson.com
 Comments:

12:35:23 JUN 18 2025

Page 1 of 2

FERGUSON ENTERPRISE LLC #1983
 Price Quotation

Bid No: B175658
 Bid Date: 06/18/25
 Quoted By: RLT

Cust Phone: 303-659-8471
 Terms: 2% 10TH NET 25TH

Customer: JOHN STINNETT PLBG & HTG
 1041 DENVER AVE
 FT LUPTON, CO 80621

Ship To: JOHN STINNETT PLBG & HTG
 1041 DENVER AVE
 FT LUPTON, CO 80621

Cust PO#: THE FORT

Job Name:

2 LAD Panel # 2847 \$95-

Item	Description	Quantity	Net Price	UM	Total
	KS-1				
PFSR332264BP	*LM 33X22X6 4H 22 GA 2B SNK BULK	1	97.906	EA	97.91
PFXC1917CP	CCY LFA 1.5 1HDL KITC FCT W/ SPRY	1	99.799	EA	99.80
IBADGER1WC	1/3HP DISP W/ CORD *BADGER	1	106.014	EA	106.01
	WC				
PF1401TWH	CCY 1.1-1.6 12 EL BOWL *JERRITT WH	1	61.258	EA	61.26
PF5112HEWH	CCY 1.28 TNK F/ PF1400HE *JERRIT WH	1	47.150	EA	47.15
PFTSWE2001WH	EB WOOD CLST SEAT ECON *ELMORE WHIT	1	16.000	EA	16.00
	BT-1				
S711711100	60X30 LH BATH *ENSEMB WHIT	1	275.825	EA	275.83
S713741000	60X30 WALL SET *ENSEMB *MEDLEY WHIT	1	359.575	EA	359.58
PF7611GCP	CCY 1HDL P/BAL LEV 1.75 T&S TRIM	1	38.082	EA	38.08
PF4001LS	CRMC T&S VLV MIP & SWT L/ STOP	1	48.714	EA	48.71
I62073	1-1/2 PVC W&O PUSH EN LIFT RI CP	1	12.804	EA	12.80
I62082	1-1/2 W&O PUSH EN LIFT TRIM CP	1	8.253	EA	8.25
	EWH				
BRE340T61NCWW	CCY 40G TALL 4.5@240V/3.5@208V WHTR	1	599.000	EA	599.00
	OATEY BOXES				
O37691	MODA LF IMOB QT F1960 PEX HAMM	1	27.517	EA	27.52
O37613	MODA WMOB 1/4 TURN F1960 HAM	1	37.816	EA	37.82

Net Total: \$1835.72
 Tax: \$0.00
 Freight: \$0.00
 Total: \$1835.72

*359 6209
 4004 81 823*

3

6209 x 5 = 41,045

*3986
 1500
 5336*

*2000.00
 3835.72*

*3.5 @ 425\$
 18 Ave*

Extra: Breaking Controls



HOW ARE WE DOING? WE WANT YOUR FEEDBACK!

Scan the QR code or use the link below to complete a survey about your bids:

<https://survey.medallia.com/?bidsorder&fc=109&on=1334>

2. 1 a sqft - Install

5,000 sqft

LOWE'S PRO

Charleston Oak Vsp

Quote # 221704642

Created on Jun 26, 2025

Quote valid until Jul 27, 2025, 11:59 p.m.*

Created by Nancy Stinnett


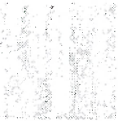
nancyj2222@aol.com

(303) 659-8471

John Stinnett Plumbing And Heating

Lowe's Store # 2479, Brighton, CO

Store Phone (303) 498-5000

	Item	Fulfillment Type	Unit Price	Qty	Item Total
1.	 Moisture Block Vapor Barrier 12-ft W x 25-ft L x 6 -mils Premium Poly film... Item #: 6308616 Model #: MB12X25300	TRUCK	\$62.34	8	\$498.72
2.	 Style Selections Charleston Oak 12-mil x 7-in W x 48-in L Waterproof Luxury Vin... Item #: 1857681 Model #: LWD6909RCB	TRUCK	\$38.80	216	\$8,380.80

Item Subtotal **\$10,543.76**

Estimated Quote Savings **-\$1,664.24**

Delivery Fees & Taxes **Calculated in Checkout**

Estimated Total **\$8,879.52**

*The prices quoted are valid until 11:59 p.m. on the date shown above, subject to the following exclusions, conditions, and exceptions.

Delivery fees will be added at time of purchase where applicable.

Prices listed on this quote will be honored at Lowe's Store # 2479, Brighton, CO. Please request a new online quote if you'd like to chase the listed items at a different store, or contact the Pro Service Desk with any questions.

Any changes you make to this quote, for example, adding or removing one or more items or changing the quantity of any item or items, will create a new quote and cancel this quote.

Additional discounts, if applicable, are subject to Lowe's standard discount policy, and are calculated at checkout.

All products are available while supplies last and may vary by market. Lowe's reserves the right to correct any error and/or limit quantities sold.

Lowe's is offering to supply materials only. Lowe's is not offering engineering, architecture, or general contracting services or advice. Lowe's is not responsible for the selection or choice of materials for a general or specific use; for quantities or sizing of materials; for the use or installation of materials; or for compliance with any building code or standard of workmanship.

This quote is based on Lowe's standard commercial terms. Lowe's does not agree to terms and conditions (including, but not limited to, governmental regulations) not specifically indicated or referenced in the request for this quote. If terms and conditions are presented, product selection and pricing may change pending legal review.

Kaden



Lowe's

Keith

PRO

Apartment Remodel Windows

Quote # 221670160

Created on Jun 25, 2025

Quote valid until Jul 3, 2025, 11:59 p.m.*

Created by Don Burough

farmhobbyz@gmail.com

(303) 506-6846

Borough Construction

Lowe's Store # 2479, Brighton, CO

Store Phone (303) 498-5000

Item	Fulfillment Type	Unit Price	Qty	Item Total
1. PELLA 250 SERIES SLIDING WINDOW FIXED/ VENT LEFT 47.5 X 47.5 PELLA 250 SERIES SLIDING WINDOW FIXED/ VENT LEFT 47.5 X 47.5 Item #: 5737182 Model #: 47.5 x 47.5 SLIDER	TRUCK	\$453.16	9	\$4,078.44
2. PELLA 250 SERIES SH 34 X 77.5 WHITE QUOTE #19670009 PELLA 250 SERIES SH 34 X 77.5 WHITE QUOTE #19670009 Item #: 5737182 Model #: 34 x 77.5 white SH	TRUCK	\$555.29	1	\$555.29
Item Subtotal				\$4,633.73
Estimated Quote Savings				—
Delivery Fees & Taxes				Calculated in Checkout
Estimated Total				\$4,633.73

*The prices quoted are valid until 11:59 p.m. on the date shown above, subject to the following exclusions, conditions, and exceptions.

Delivery fees will be added at time of purchase where applicable.

Prices listed on this quote will be honored at Lowe's Store # 2479, Brighton, CO. Please request a new online quote if you'd like to purchase the listed items at a different store, or contact the Pro Service Desk with any questions.

Any changes you make to this quote, for example, adding or removing one or more items or changing the quantity of any item or items, will create a new quote and cancel this quote.

Additional discounts, if applicable, are subject to Lowe's standard discount policy, and are calculated at checkout.

All products are available while supplies last and may vary by market. Lowe's reserves the right to correct any error and/or limit quantities sold.

Lowe's is offering to supply materials only. Lowe's is not offering engineering, architecture, or general contracting services or advice. Lowe's is not responsible for the selection or choice of materials for a general or specific use; for quantities or sizing of materials; for the use or installation of materials; or for compliance with any building code or standard of workmanship.

This quote is based on Lowe's standard commercial terms. Lowe's does not agree to terms and conditions (including, but not limited to, governmental regulations) not specifically indicated or referenced in the request for this quote. If terms and conditions are presented, product selection and pricing may change pending legal review.



Lowe's Custom Order Quote

Quote # 221595294

Quote Name: APARTMENTS

Date Printed: 6/24/2025

Customer: Don Burough

Email: farmhobbyz@gmail.com

Address: 13939 COUNTY ROAD 8
FORT LUPTON, CO 80621

Phone: (303) 506-6846

Store: (2479) LOWE'S OF BRIGHTON, CO

Associate: CADEN MUMFORD (3069968)

Address: 4980 EAST BROMLEY LANE
BRIGHTON, CO 80601-7824

Phone: (303) 498-5000

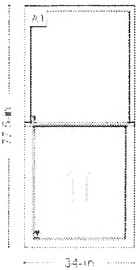
Item Total: 10

PreSavings Total: \$7,512.54

Freight Total: \$0.00

Labor Total: \$0.00

Pre-Tax Total: \$7,512.54



Pella 250 Series | Single Hung | 34 X 77.5 |
White
Room Location: apartment

Product Warranty



Line #	Item Summary	Production	Est. Cmp. Days	Was Price	Now Price	Qty	Total Savings	Pre-Tax Total
100-1	Pella 250 Series Single Hung 34 X 77.5 White		16 days	\$971.70	\$971.70	1		\$971.70

Begin Line 200 Description

---- Line 200-1 ----

A1: Unit: 48 || Frame: 47 1/2-in || RO: 48-in
Unit: 48 || Frame: 47 1/2-in || RO: 48-in
Fixed / Vent Left Double Slider. Frame Size: 47
1/2 X 47 1/2. Pella 250 Series Series. Northern
Climate Zone 5

Standard
Vinyl
Block / Box Frame
Foam Insulated
3 1/4"
3 1/4"
Sill Adapter Included
No Head Expander. White. White. Glass:
Insulated Dual Low-E NaturalSun+ Low-E
Insulating Glass Argon High Altitude. Cam-
Action Lock
2 Locks
White
No Limited Opening Hardware. Half Screen
InView™. Combination U-Factor 0.24
U-Factor 0.24
Combination SHGC 0.5
SHGC 0.50
VLT 0.61
CPD PEL-A-292-00135-00006
Satisfied Energy Star Zones Northern
Yes
Performance Class R
PG 30
Calculated Positive DP Rating 30
Calculated Negative DP Rating 30
FPA FL16809
STC 25
OITC 22
Clear Opening Width 18.792
Clear Opening Height 43.25
Clear Opening Area 5.644125
Egress Does not meet typical United States
egress
but may comply with local code requirements.

Remake: No
In-Store Pick-up
EA
06/13/2025
False
True
877-473-5527
. 16 Days. 943055
CMC Pella 250 Window. 103848.
Grille: No Grille
Wrapping Information: Manufacturer
Recommended Clearance
Perimeter Length = 190".
Venting Width: Equal

End Line 200 Description

Accepted by: _____

Date: 6/24/2025

Pre-Tax Total	\$7,512.54
---------------	------------

This quote is an estimate only and valid for 30 days on all regularly priced items. For promotional items please refer to the dates listed above.
This estimate does not include tax or delivery charges. Estimated arrival will be determined at the time of purchase. All of the above
quantities, dimensions, specifications and accessories have been verified and accepted by the customer.

**** Special order configured products returned or canceled after 72 hours from purchase are subject to a 20% restocking fee. ****

Begin Line 100 Description

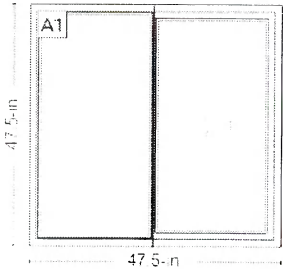
---- Line 100-1 ----

A1: Non-Standard Size Single Hung
 Equal. Frame Size: 34 X 77 1/2. Pella 250
 Series Series. Northern
 Climate Zone 5

Standard
 Vinyl
 Block / Box Frame
 Foam Insulated
 3 1/4"
 3 1/4"
 Sill Adapter Included
 No Head Expander. White. White. Glass:
 Insulated Dual Tempered Low-E NaturalSun+
 Low-E Insulating Glass Argon High Altitude.
 Cam-Action Lock
 White
 No Limited Opening Hardware. Half Screen
 InView™. Combination U-Factor 0.25
 U-Factor 0.25
 Combination SHGC 0.49
 SHGC 0.49
 VLT 0.61
 CPD PEL-A-293-00241-00004
 Satisfied Energy Star Zones Northern
 Yes
 Performance Class R
 PG 35
 Calculated Positive DP Rating 35
 Calculated Negative DP Rating 35
 FPA FL16812
 STC 25
 OITC 22
 Clear Opening Width 29.75
 Clear Opening Height 33.214
 Clear Opening Area 6.86192
 Egress Meets minimum clear opening and 5.7
 sq.ft. requirements for non-grade floor (E)
 (United States Only).

Remake: No
 In-Store Pick-up
 EA
 06/13/2025
 False
 True
 877-473-5527
 . 16 Days. 943055
 CMC Pella 250 Window. 103848.
 Grille: No Grille
 Wrapping Information: Manufacturer
 Recommended Clearance
 Perimeter Length = 223".

End Line 100 Description



Pella 250 Series | Sliding Window | Fixed / Vent
 Left | 47.5 X 47.5 | White
 Room Location: None Assigned

Product Warranty



Line #	Item Summary	Production	Est. Cmp. Days	Was Price	Now Price	Qty	Total Savings	Pre-Tax Total
200-1	Pella 250 Series Sliding Window Fixed / Vent Left 47.5 X 47.5 White		16 days	\$726.76	\$726.76	9		\$6,540.84

Nelson's Heating & A/C INC.
 303 536-0879
 Keenesburg, CO 80643
 26096 Weld County Road 4

Estimate

Date	Estimate #
7/2/2025	3069

Name / Address
John Stinnett Plumbing 1041 Denver Ave Fort Lupton Co 80621 303-472-2029

Project

Description	Qty	Rate	Total
Main level east and west units. Install new Goodman Single stage 96% 45,000 BTU furnace model #GR9S960453AN, Install new Goodman 14 SEER 2 ton A/C unit model number GLXS3BN24. Install all supply and return air ducting per JDS. Vent furnaces and all bath fans and dryer vent per building code Seal all ductwork and start up and run check on final	2	16,820.00	33,640.00
Second story east and west units Install new Goodman single stage 96% 45,000 BTU furnaces model#GR9S960453AN. Install new Goodman 14 SEER 2 ton A/C units model #GLXS3BN24. Install all supply and return air ducting per JDS. Vent furnaces and all bath fans and dryer vent per building code. Seal all ductwork and start up and run check system on final	2	17,480.00	34,960.00
Second story south unit. Install new Goodman single stage 96% 45,000 BTU furnace model #GR9S960453AN. Install new Goodman 14 SEER 2 ton A/C unit model number GLXS3BN24. Install supply ducting with exposed spiral, and return air ducting. Vent furnace and all bath fans and dryer vent per building code. Seal all duct work and run check system on final.	1	14,760.00	14,760.00
All A/C units to sit on east side of building per plans. Pressure testing and balancing of ductwork to be done by E3 Power estimated cost \$1000 per unit			
JOB ADDRESS 721 th ST Fort Lupton			
Thank you for your business.	Total		\$83,360.00



Spec 7 Insulation (790)
 5945 Broadway Street, Unit C
 Denver CO 80216
 (303) 298-1656 (303) 298-7229 Fax
 www.spec7insulation.com

PROPOSAL

Customer Address

JEFF STINNETT
 721 4TH STREET
 FORT LUPTON, CO 80621

Job Name

721 4TH STREET - FORD PLAZA

Job Address

721 4TH STREET - FORD PLAZA
 FORT LUPTON, CO 80621
 Lot:

Date: 6/24/2025

Job: 7489979

Work Area

Inventory Item

Phase: 18822937 1A

PO:

PARTY WALLS

R-11 15" x 93" - Unfaced - Batts

Work Area Notes: DOUBLE TO BOTH SIDES OF PARTY WALLS

CORRIDOR WALLS

R-19 15" x 93" - Unfaced - Batts

Work Area Notes: CORRIDOR WALLS

We propose hereby to furnish material & labor - complete in accordance with the above specifications, for the sum of :

\$1,578.00

Terms: Collect On Delivery

All material will be as provided in the attached description. All work will be completed in a workmanlike fashion in accordance with the standards of the industry. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate(s). All agreements are contingent upon strikes, accidents, acts of God or delays beyond our control. Owner to carry fire and tornado insurance and other insurance that may be required by law. Our workers are covered by workers' compensation insurance to the extent required by law.

We do not warrant against and shall not be liable for any damage or injury, including but not limited to mold accumulation, when due to any of the following causes: the failure of the builder or contractors (other than our Company) to follow the instructions and specifications of the insulation manufacturer; faulty or improper installation or maintenance of drywall or other wall covering; use of accessories or wall preparation materials that do not properly receive the insulation; and compliance with applicable building codes or other government regulations relating to surface preparation, wall coverings, required materials or mandatory procedures.

ANY WARRANTIES IMPLIED BY LAW, SUCH AS THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, ARE HEREBY EXPRESSLY DISCLAIMED. WE SHALL NOT BE LIABLE FOR ANY CONSEQUENTIAL DAMAGES OR INCIDENTAL DAMAGES for breach of any warranty associated with the material. Our liability shall in no event exceed the cost of the materials set forth herein. We cannot and shall not be liable to you for the breach of any other express warranties, such as those given to you by other dealers, contractors, applicators, distributors or manufacturers. Your exclusive remedy with respect to defective materials provided by us shall be repair or replacement, at our option, of the defective materials.

If the Scope of Service does not commence within 30/60 days from the date of acceptance of this Proposal due to no fault of Spec 7 Insulation, any Price or Quote included herein is subject to change and Spec 7 Insulation reserves the right to provide a new Price or Quote or to reject the Service.



Spec 7 Insulation (790)
 5945 Broadway Street, Unit C
 Denver CO 80216
 (303) 298-1656 (303) 298-7229 Fax
 www.spec7insulation.com

PROPOSAL

Customer Address

JEFF STINNETT
 721 4TH STREET
 FORT LUPTON, CO 80621

Job Name

721 4TH STREET - FORD PLAZA

Job Address

721 4TH STREET - FORD PLAZA
 FORT LUPTON, CO 80621
 Lot:

Date: 6/24/2025

Job: 7489979

Note: this proposal may be withdrawn by us if not accepted within 30 days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.

DATE: _____ **SIGNATURE:** _____

Sales Representative: Spencer Alley

DATE: _____ **SIGNATURE:** _____

Customer Representative:

Printed Name _____ **Title** _____

Items listed below include option(s). Signify desired options by initialing the space to the left of that item. Selected options are to be added to the contract price. Return this signed copy with the Job Proposal.

Phase	Work Area	Inventory Item	Type	Additional Charge
_____	MIDFLOORS <i>Work Area Notes: 12 ON CENTER</i>	R-19 23" x 93" - Unfaced - Batts	Option	\$2,426.00
_____	MIDFLOORS	R-19 15" x 93" - Unfaced - Batts	Option	\$740.00

DATE: _____ **SIGNATURE:** _____



Spec 7 Insulation (790)
 5945 Broadway Street, Unit C
 Denver CO 80216
 (303) 298-1656 (303) 298-7229 Fax
 www.spec7insulation.com

PROPOSAL

Customer Address

JEFF STINNETT
 721 4TH STREET
 FORT LUPTON, CO 80621

Job Name

721 4TH STREET - FORD PLAZA

Job Address

721 4TH STREET - FORD PLAZA
 FORT LUPTON, CO 80621
 Lot:

Date: 6/24/2025

Job: 7489979

Work Area

Inventory Item

Phase: 18822937 1A

PO:

PARTY WALLS

R-11 15" x 93" - Unfaced - Batts

Work Area Notes: DOUBLE TO BOTH SIDES OF PARTY WALLS

CORRIDOR WALLS

R-19 15" x 93" - Unfaced - Batts

Work Area Notes: CORRIDOR WALLS

We propose hereby to furnish material & labor - complete in accordance with the above specifications, for the sum of :

\$1,578.00

Terms: Collect On Delivery

All material will be as provided in the attached description. All work will be completed in a workmanlike fashion in accordance with the standards of the industry. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate(s). All agreements are contingent upon strikes, accidents, acts of God or delays beyond our control. Owner to carry fire and tornado insurance and other insurance that may be required by law. Our workers are covered by workers' compensation insurance to the extent required by law.

We do not warrant against and shall not be liable for any damage or injury, including but not limited to mold accumulation, when due to any of the following causes: the failure of the builder or contractors (other than our Company) to follow the instructions and specifications of the insulation manufacturer; faulty or improper installation or maintenance of drywall or other wall covering; use of accessories or wall preparation materials that do not properly receive the insulation; and compliance with applicable building codes or other government regulations relating to surface preparation, wall coverings, required materials or mandatory procedures.

ANY WARRANTIES IMPLIED BY LAW, SUCH AS THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, ARE HEREBY EXPRESSLY DISCLAIMED. WE SHALL NOT BE LIABLE FOR ANY CONSEQUENTIAL DAMAGES OR INCIDENTAL DAMAGES for breach of any warranty associated with the material. Our liability shall in no event exceed the cost of the materials set forth herein. We cannot and shall not be liable to you for the breach of any other express warranties, such as those given to you by other dealers, contractors, applicators, distributors or manufacturers. Your exclusive remedy with respect to defective materials provided by us shall be repair or replacement, at our option, of the defective materials.

If the Scope of Service does not commence within 30/60 days from the date of acceptance of this Proposal due to no fault of Spec 7 Insulation, any Price or Quote included herein is subject to change and Spec 7 Insulation reserves the right to provide a new Price or Quote or to reject the Service.



Spec 7 Insulation (790)
 5945 Broadway Street, Unit C
 Denver CO 80216
 (303) 298-1656 (303) 298-7229 Fax
 www.spec7insulation.com

PROPOSAL

Customer Address

JEFF STINNETT
 721 4TH STREET
 FORT LUPTON, CO 80621

Job Name

721 4TH STREET - FORD PLAZA

Job Address

721 4TH STREET - FORD PLAZA
 FORT LUPTON, CO 80621
 Lot:

Date: 6/24/2025

Job: 7489979

Note: this proposal may be withdrawn by us if not accepted within 30 days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.

DATE: _____ **SIGNATURE:** _____

Sales Representative: Spencer Alley

DATE: _____ **SIGNATURE:** _____

Customer Representative:

Printed Name _____ **Title** _____

Items listed below include option(s). Signify desired options by initialing the space to the left of that item. Selected options are to be added to the contract price. Return this signed copy with the Job Proposal.

Phase	Work Area	Inventory Item	Type	Additional Charge
_____	MIDFLOORS <i>Work Area Notes: 12 ON CENTER</i>	R-19 23" x 93" - Unfaced - Batts	Option	\$2,426.00
_____	MIDFLOORS	R-19 15" x 93" - Unfaced - Batts	Option	\$740.00

DATE: _____ **SIGNATURE:** _____

THOMPSON VALLEY ELECTRIC INC
 23944 hwy 257 Milliken, CO 80543 970-590-4449 email:
 tve.1inc@gmail.com

ESTIMATE

APARTMENT CONVERSION
 721 4TH ST FT LUPTON COLO

Estimate # 0000217

Estimate Date 06/23/2025

Item	Description	Unit Price	Quantity	Amount
	INSTALL PANELS/ALL DEVICES SMOKE DETECTORS- ALL DEVICES- LIGHTING PROVIDE LIGHTING IN UNITS A-B-C-D AS PER PRINTS. PROVIDE DEVICES-LIGHTING IN CORIDORS AND HOUSE PANEL. RELOCATE PANEL H AND UPGRADE TO 200 AMPS RE- FEED TO FRONT UNIT. EXCLUDED AS NOTED- FIRE ALARMS - MAIN SERVICE-PERMIT FEES-	96500.00	1.00	96,500.00
	MAIN SERVICE UPGRADE IF NEEDED BY CITY FOR PERMITING? (THESE NUMBERS ARE BASED OFF A MAX BUDGET CAN MOVE DOWN AS SCOPE OFF WORK AND WHATS BEHIND SHEETROCK IS MORE DEFINATE)	32000.00	0.00	0.00
<u>NOTES:</u> 721 4TH ST FT LUPTON COLO				
		Subtotal		96,500.00
		Total		96,500.00
		Amount Paid		0.00
		Estimate		\$96,500.00



Tonville HVAC LLC

710 North 7th Avenue | Unit 1 | Brighton, Colorado 80601
303-659-8583 | benjaminlabryant@yahoo.com | https://www.tonvillehvac.com/

RECIPIENT:

John Stinnett
721 4th Street
Fort Lupton, Colorado 80621

Quote #268

Sent on	Jun 01, 2025
Total	\$71,491.00

Product/Service	Description	Qty.	Unit Price	Total
Ductwork for new construction	Install ductwork in remodeled apartments at 721 4th St Ft Lupton.	1	\$64,995.00	\$64,995.00
Electric Unit Heaters	UH-1,2 electric unit heater with thermostat, and wall mounting bracket.	4	\$749.00	\$2,996.00*
Ductwork for new construction	Upgrade to commercial duct in the upstairs units.	1	\$3,500.00	\$3,500.00

* Non-taxable

Total	\$71,491.00
--------------	--------------------

Reviews

Todd Lillemon



Lila Barton



It was great

Molly Lockhart



This quote is valid for the next 30 days, after which values may be subject to change.



Tonville HVAC LLC

710 North 7th Avenue | Unit 1 | Brighton, Colorado 80601
303-659-8583 | benjaminlabryant@yahoo.com | https://www.tonvillehvac.com/

RECIPIENT:

John Stinnett
721 4th Street
Fort Lupton, Colorado 80621

Quote #268

Sent on Jun 01, 2025

Total \$67,991.00

Product/Service	Description	Qty.	Unit Price	Total
Ductwork for new construction	Install ductwork in remodeled apartments at 721 4th St Ft Lupton	1	\$64,995.00	\$64,995.00
Electric Unit Heaters	UH-1,2 electric unit heater with thermostat, and wall mounting bracket.	4	\$749.00	\$2,996.00*

* Non-taxable

Total \$67,991.00

Reviews

Todd Lillemon



Lila Barton



it was great

Molly Lockhart



This quote is valid for the next 30 days, after which values may be subject to change.



Wirezall Electric

721 4th Street
Fort Lupton, CO 80621

✉ jstinn52@gmail.com

*DORA
Lic Contractor
EC 0103148*

ESTIMATE	#124
TOTAL	\$89,775.00

CONTACT US *Adam Gonzalez*
Greeley, CO 80634

☎ (970) 481-1744
✉ a.gonzalez@wirezallelectric.com

ESTIMATE

Services	qty	unit price	amount
Unit A 1,152 sq. ft. Electrical rough and trim according to 1-line	1.0	\$10,687.00	\$10,687.00
Unit B, 1,085 sq. ft. Electrical rough and trim according to 1-line	1.0	\$10,307.00	\$10,307.00
Unit C, 795 sq. ft. Electrical rough and trim according to 1-line	1.0	\$7,552.00	\$7,552.00
Unit D, 785 sq. ft. Electrical rough and trim according to 1-line	1.0	\$7,457.00	\$7,457.00
Unit E, 555 sq. ft. Electrical rough and trim according to 1-line	1.0	\$5,272.00	\$5,272.00
Panel H Electrical rough and trim according to 1-line for house panel.	1.0	\$8,800.00	\$8,800.00
Demo/Relocate electrical Demo/Relocate existing electrical	1.0	\$5,500.00	\$5,500.00
Service equipment Demo/Upgraded electrical service disconnects. Includes grounding and bonding per NEC.	6.0	\$5,700.00	\$34,200.00

Services subtotal: \$89,775.00

Subtotal \$89,775.00

Total \$89,775.00



Wirezall Electric

721 4th Street
Fort Lupton, CO 80621

jstinn52@gmail.com

ESTIMATE	#124
TOTAL	\$89,775.00

CONTACT US

Greeley, CO 80634

(970) 481-1744

a.gonzalez@wirezallelectric.com

ESTIMATE

Services	qty	unit price	amount
Unit A 1,152 sq. ft. Electrical rough and trim according to 1-line	1.0	\$10,687.00	\$10,687.00
Unit B, 1,085 sq. ft. Electrical rough and trim according to 1-line	1.0	\$10,307.00	\$10,307.00
Unit C, 795 sq. ft. Electrical rough and trim according to 1-line	1.0	\$7,552.00	\$7,552.00
Unit D, 785 sq. ft. Electrical rough and trim according to 1-line	1.0	\$7,457.00	\$7,457.00
Unit E, 555 sq. ft. Electrical rough and trim according to 1-line	1.0	\$5,272.00	\$5,272.00
Panel H Electrical rough and trim according to 1-line for house panel.	1.0	\$8,800.00	\$8,800.00
Demo/Relocate electrical Demo/Relocate existing electrical	1.0	\$5,500.00	\$5,500.00
Service equipment Demo/Upgraded electrical service disconnects. Includes grounding and bonding per NEC.	6.0	\$5,700.00	\$34,200.00

Services subtotal: \$89,775.00

Subtotal \$89,775.00

Total \$89,775.00

Building Renovation Grant Program Application

A. CONTACT INFORMATION

1) Applicant Name: John Stinnett
Business Name: FORT PLAZA LLC
Phone: 303 472 2029 Email: JSTINW52@gmail.com
Address: 721 4th Street Ft Lupton Colo
Are you the owner of the property you are requesting grant funding for? Yes No
If you responded no, please provide the property owner's information under Paragraph A(2).

2) Property Owner Name: Jeff Stinnett & John Stinnett
Company: FORT PLAZA LLC
Phone: 303 472 2029 Email: JSTINW52@gmail.com
Address: 1031 Denver Ave. Fort Lupton Co

B. SITE INFORMATION (Verify the Property is in the Program Area (Appendix 1 of the Guidelines) prior to submitting an Application.)

Site Address: 721 4th Street Fort Lupton Co
Parcel Number: _____

Is this property historically designated? Yes No

C. PROJECT DESCRIPTION

Please provide a short description of the proposed project in the space provided below:

The rear half of building which was office space into residence (5) with two bedroom bath, kitchen, laundry and living area

Describe how the proposed project will improve the overall look of the Grant Area:

The Building will provide housing for five families with parking in down town area.

F. CERTIFICATIONS

Applicant Certification

By signing this application, I attest that I am acting with the knowledge and consent of all owners of the property that is the subject of this application, and that I have the full intention and ability to complete the improvements described in this application if a Building Renovation Grant is awarded. I understand that I am required to enter into a Building Renovation Grant Agreement within 30 days of approval of a Grant award. If an Agreement is not finalized by that time, then the Grant award will be null and void. I further certify that all information submitted with this application is true and accurate to the best of my knowledge.

Applicant: John Stumitt Date: 7/7/25

Owner Certification

I hereby certify that I am the legal owner of record of the property that is the subject of this application. I hereby authorize the applicant to apply for this Building Renovation Grant and to perform the improvements described in this application if a Building Renovation Grant is awarded.

Owner: John Stumitt Date: 7/7/25

For Office Use Only

Received Date: _____

If the application is not complete, state reasons why it is incomplete:

Deemed Complete Date: _____

Instructions for Submitting the Building Renovation Grant Program Application

DEFINITIONS

Words in the singular include the plural and words in the plural include the singular.

Application refers to the official submittal to the Fort Lupton Urban Renewal Authority for review of the improvements described in the Building Renovation Grant Application. The Application includes the application form, all materials submitted for review of the project, and any additional information provided.

Project refers to the proposed improvements that the Applicant is applying for grant funding for as described in the Application.

Property refers to the land that is being proposed for improvements as described in the Application.

A. CONTACT INFORMATION

- 1) Provide contact information for all applicants that are authorized by the owners identified in Section A(2) to submit this application. If the contact information for all applicants will not fit on the space provided, submit a separate sheet for the additional representatives.
- 2) Provide contact information for all owners of any property that is the subject of the application. If the contact information for all owners will not fit on the space provided, submit a separate sheet for the additional owners.

B. SITE INFORMATION

Provide all information requested. Parcel numbers and address information may be found at the Weld County Property Portal at <https://www.co.weld.co.us/maps/propertyportal/>. To find out if a building is designated, please visit <http://www.fortlupton.org/425/Historic-Designation> or contact the Historic Preservation Board staff liaison at 303.857.6694. Applicant is responsible for ensuring the Property is located within the Building Renovation Grant Area (Appendix 1 of the Building Renovation Program Guidelines) prior to submitting an Application.

B. PROJECT DESCRIPTION

Please provide a description of the proposed improvements and how they will improve the Grant Area. Be sure to review the list of eligible and ineligible improvements in the Building Renovation Program Grant Guidelines prior to submitting an Application. If you need more space, please attach a separate sheet.

C. PROJECT COSTS

Provide an itemized list of estimated project costs for the project and the total estimated cost for the project. Attach supporting documentation for these costs, including two contractor bids (unless the project is for painting a façade). Also provide the total grant amount that applicant is requesting, which shall not exceed 50% of the project cost. If you need more space, please attach a separate sheet.

D. REQUIRED DOCUMENTS

FLURA staff will review all applications to ensure that it is complete and all required attachments are included. If there are items missing and the application has been submitted at least one week in advance of the application deadline, staff will inform the applicant of any missing information so they can supplement their application prior to the deadline.

E. CERTIFICATIONS

Applicant Certification. Provide the signature of the applicant(s) in this section.

Owner Certification. Provide the signature of all owners of the Property.

For any other questions, please contact the Fort Lupton Urban Renewal Authority staff at 303.857.6694.

REVIEWED FOR CODE COMPLIANCE

These plans have been reviewed for code compliance by the building department. Review of these plans does not approve any violation that may exist on the plans. Any violations that may exist may be dealt with in the field during construction. Review of plans state that the plans are in general compliance with the adopted code.

REVIEWED BY *Joe Gauder*

APARTMENT CONVERSION

**721 4TH STREET
FORT LUPTON, CO 80621**

**DEFERRED SUBMITAL FOR
LIGHTING COMCHECK REPORT**

**SPECIAL INSPECTION REPORT REQUIRED FOR
FIRESTOPPING PER 2018 IBC SEC 1705.17.2**

GENERAL NOTES	
<p>GENERAL REQUIREMENTS</p> <ol style="list-style-type: none"> DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON DRAWINGS ARE NOT TO SCALE. VERIFY ALL DIMENSIONS ON-SITE. FOR CLARIFICATION, CONTACT THE ARCHITECT. CODE COMPLIANCE: ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND REGULATIONS. THE GENERAL CONTRACTOR (GC) AND SUBCONTRACTORS ARE RESPONSIBLE FOR ENSURING COMPLIANCE AND ARRANGING REQUIRED INSPECTIONS. PERMITS: OBTAIN ALL NECESSARY BUILDING PERMITS PRIOR TO STARTING WORK. OWNER APPROVALS: VERIFY ALL MATERIALS, FINISHES, AND COLORS WITH THE OWNER. MANUFACTURER GUIDELINES: INSTALL ALL MATERIALS AND EQUIPMENT PER MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS. ELEVATIONS: ELEVATIONS ARE BASED ON FINISH FLOOR ELEVATION = 100'-0", UNLESS OTHERWISE NOTED. REFER TO CIVIL DRAWINGS FOR SITE GRADING. PARKING STRIPING: ALL PARKING STRIPING MUST COMPLY WITH APPLICABLE CODES AND STANDARDS. DETAILS AND SECTIONS: DETAILS SHOWN ARE REPRESENTATIVE AND INTENDED TO ILLUSTRATE TYPICAL CONDITIONS. CONTRACTOR MAY ADJUST FOR MINOR FIELD VARIATIONS. DRAWING COORDINATION: GC SHALL COORDINATE ALL DRAWINGS, VERIFYING DIMENSIONS AND DETAILS FOR SLABS, SLOPES, STEPS, RECESSES, DRAINS, OUTLETS, SLEEVES, AND OTHER FEATURES. SITE VERIFICATION: CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING. SCALE PRIORITY: LARGER-SCALE DRAWINGS GOVERN OVER SMALLER-SCALE DRAWINGS. SITE ACCESSIBILITY AND SAFETY: MAINTAIN SITE AND BUILDING ACCESS IN A SAFE CONDITION FOR WORKERS AND OWNERS. SHOP DRAWINGS: SUBMIT SHOP DRAWINGS FOR STRUCTURAL AND SPECIALIZED CONSTRUCTION FOR ARCHITECT'S REVIEW TO CONFIRM DESIGN INTENT. CLEAR DIMENSIONS: ENSURE ALL REQUIRED CLEAR DIMENSIONS MEET CODE, INCLUDING CORRIDORS, RESTROOMS, AND DOOR MANEUVERING CLEARANCES. UTILITY VERIFICATION: VERIFY ALL EXISTING UTILITIES BEFORE CONSTRUCTION. DOOR LOCATIONS: UNLESS OTHERWISE DIMENSIONED, DOORS SHALL BE 4" FROM FINISHED WALL TO THE DOOR EDGE OR CENTERED IN OPENINGS. DUCT PENETRATIONS: COORDINATE DUCT, FLUE, AND VENT PENETRATIONS WITH THE MECHANICAL CONTRACTOR. INTERIOR DIMENSIONS: INTERIOR DIMENSIONS ARE FROM FACE OF STUD. WALL THICKNESS DOES NOT INCLUDE FINISH MATERIALS. DAILY CLEANUP: GC IS RESPONSIBLE FOR DAILY SITE CLEANUP AND FINAL CLEANUP AT PROJECT COMPLETION. INSTALLATION STANDARDS: INSTALL ALL COMPONENTS PLUMB, LEVEL, SQUARE, AND ANCHORED PER MANUFACTURER RECOMMENDATIONS AND STANDARD CONSTRUCTION PRACTICES. CONSTRUCTION COORDINATION: GC SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES AND PROJECT PHASING WITH THE OWNER. FIRE EQUIPMENT LOCATIONS: CONFIRM FIRE DEPARTMENT CONNECTIONS, EXTINGUISHERS, AND CABINETS WITH THE LOCAL FIRE AUTHORITY. CIVIL DRAWINGS: REFER TO CIVIL DRAWINGS FOR GRADING, UTILITIES, AND DRAINAGE. ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. STRUCTURAL COORDINATION: REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS. ARCHITECTURAL REPRESENTATIONS ARE INFORMATIONAL. STRUCTURAL DRAWINGS GOVERN. ELECTRICAL DRAWINGS: REFER TO ELECTRICAL DRAWINGS FOR ALL TRANSFORMER, SWITCHGEAR, AND LIGHTING DETAILS. 	<p>TRADE-SPECIFIC REQUIREMENTS</p> <p>CONCRETE</p> <ol style="list-style-type: none"> INSTALL ALL CONCRETE WALLS, FOOTINGS, CAISSONS, AND SLABS PER STRUCTURAL DRAWINGS. EXTERIOR LANDINGS SHALL BE A MAXIMUM OF 1/4" BELOW FINISH FLOOR, TYPICAL. <p>METALS</p> <ol style="list-style-type: none"> ALL STEEL WORK SHALL CONFORM TO AISC STANDARDS FOR DESIGN, FABRICATION, AND ERECTION. RUST PROTECTION: CLEAN AND PRIME ANY RUSTED AREAS IMMEDIATELY. STAIR RAILINGS: ENSURE COMPLIANCE WITH ADA AND BUILDING CODES FOR OPENINGS AND STRUCTURAL STRESS. <p>WOOD & PLASTIC</p> <ol style="list-style-type: none"> USE PRESSURE-TREATED WOOD WHERE IN CONTACT WITH CONCRETE. PROVIDE WOOD BLOCKING AS REQUIRED FOR EQUIPMENT, GRAB BARS, AND ACCESSORIES. ALL CONCEALED BLOCKING SHALL BE FIRE-RETARDANT WOOD. <p>THERMAL & MOISTURE PROTECTION</p> <ol style="list-style-type: none"> INSTALL FLASHING AND SHEET METAL PER SMACNA STANDARDS. SEAL ALL CONSTRUCTION JOINTS WITH BACKER ROO AND ELASTOMERIC SEALANT. PROVIDE WEATHERPROOF FLASHING AT ALL ROOF-TO-WALL CONDITIONS AND OPENINGS. <p>DOORS & WINDOWS</p> <ol style="list-style-type: none"> INSTALL PER THE DOOR AND WINDOW SCHEDULE. VERIFY WEATHERPROOFING AND THERMAL PERFORMANCE OF EXTERIOR UNITS. PROVIDE LEVER-TYPE HARDWARE AT ALL DOORS, ENSURING ADA COMPLIANCE. ENSURE EXIT DOORS ARE OPERABLE WITHOUT SPECIAL TOOLS OR KEYS. <p>FINISHES</p> <ol style="list-style-type: none"> PROVIDE TYPE 'X' GYPSUM WALLBOARD WITH A LEVEL 4 FINISH. PAINT WITH ONE COAT OF PRIMER AND TWO FINISH COATS. COLORS AS APPROVED BY THE ARCHITECT. PROVIDE TRANSITION STRIPS AT ALL FLOORING CHANGES AND SOUND INSULATION IN RESTROOM WALLS. <p>MECHANICAL</p> <ol style="list-style-type: none"> PROVIDE LABOR, MATERIALS, AND EQUIPMENT FOR PLUMBING, VENTILATION, AND HVAC SYSTEMS, ENSURING COMPLIANCE WITH STATE AND LOCAL CODES. <p>ELECTRICAL</p> <ol style="list-style-type: none"> INSTALL ALL WIRING, FIXTURES, AND CONTROLS PER THE NATIONAL ELECTRICAL CODE (NEC) AND LOCAL REGULATIONS. VERIFY OUTLET LOCATIONS WITH THE OWNER BEFORE INSTALLATION.

SHEET INDEX	
SHEET NUMBER	SHEET NAME
GENERAL	
A0.0	COVER SHEET
ARCHITECTURAL	
A0.1	CODE STUDY & LIFE SAFETY PLANS
A1.1	LEVEL 1 - DEMOLITION PLAN
A1.2	LEVEL 2 - DEMOLITION PLAN
A1.3	LEVEL 1 - PROPOSED FLOOR PLAN
A1.4	LEVEL 2 - PROPOSED FLOOR PLAN
A4.0	STAIR SECTIONS
A7.0	FIRESTOP PENETRATION SEALANT DETAILS
STRUCTURAL	
S1.1	2ND FLOOR FRAMING PLAN
S2.1	ROOF FRAMING PLAN
S3.1	STRUCTURAL NOTES & DETAILS
MECHANICAL	
H0.1	HVAC NOTES, LEGEND, & DRAWING INDEX
H2.1	HVAC FIRST FLOOR PLAN
H2.2	HVAC SECOND FLOOR PLAN
H8.1	HVAC SCHEDULES & DETAILS
H8.2	HVAC SCHEDULES
H8.3	HVAC SCHEDULES
PLUMBING	
P0.1	PLUMBING NOTES, LEGEND, & DRAWING INDEX
P2.1	PLUMBING FIRST FLOOR WASTE & VENT PLAN
P2.2	PLUMBING SECOND FLOOR WASTE & VENT PLAN
P2.3	PLUMBING FIRST FLOOR WATER & GAS PLAN
P2.4	PLUMBING SECOND FLOOR WATER & GAS PLAN
P8.1	PLUMBING SCHEDULES & DETAILS
P8.2	PLUMBING SCHEDULES & DETAILS
ELECTRICAL	
E0.1	NOTES, LEGEND, INDEX
E0.2	ELECTRICAL SCHEDULES
E1.1	ELECTRICAL DEMO PLAN
E2.1	FIRST FLOOR ELECTRICAL PLAN
E2.2	SECOND FLOOR ELECTRICAL PLAN

PROJECT DIRECTORY

ARCHITECT:
HAUSER ARCHITECTS, P.C.
3780 EAST 15TH STREET, SUITE 201
LOVELAND, CO 80538
PH: 970.669.8220
CONTACT NAME: CURTIS KOLDEWAY
CONTACT: curtis@hauserarchitectspc.com

OWNER:
JOHN STINNETT

CONTACT NAME: JOHN STINNETT
CONTACT: jstinn52@gmail.com

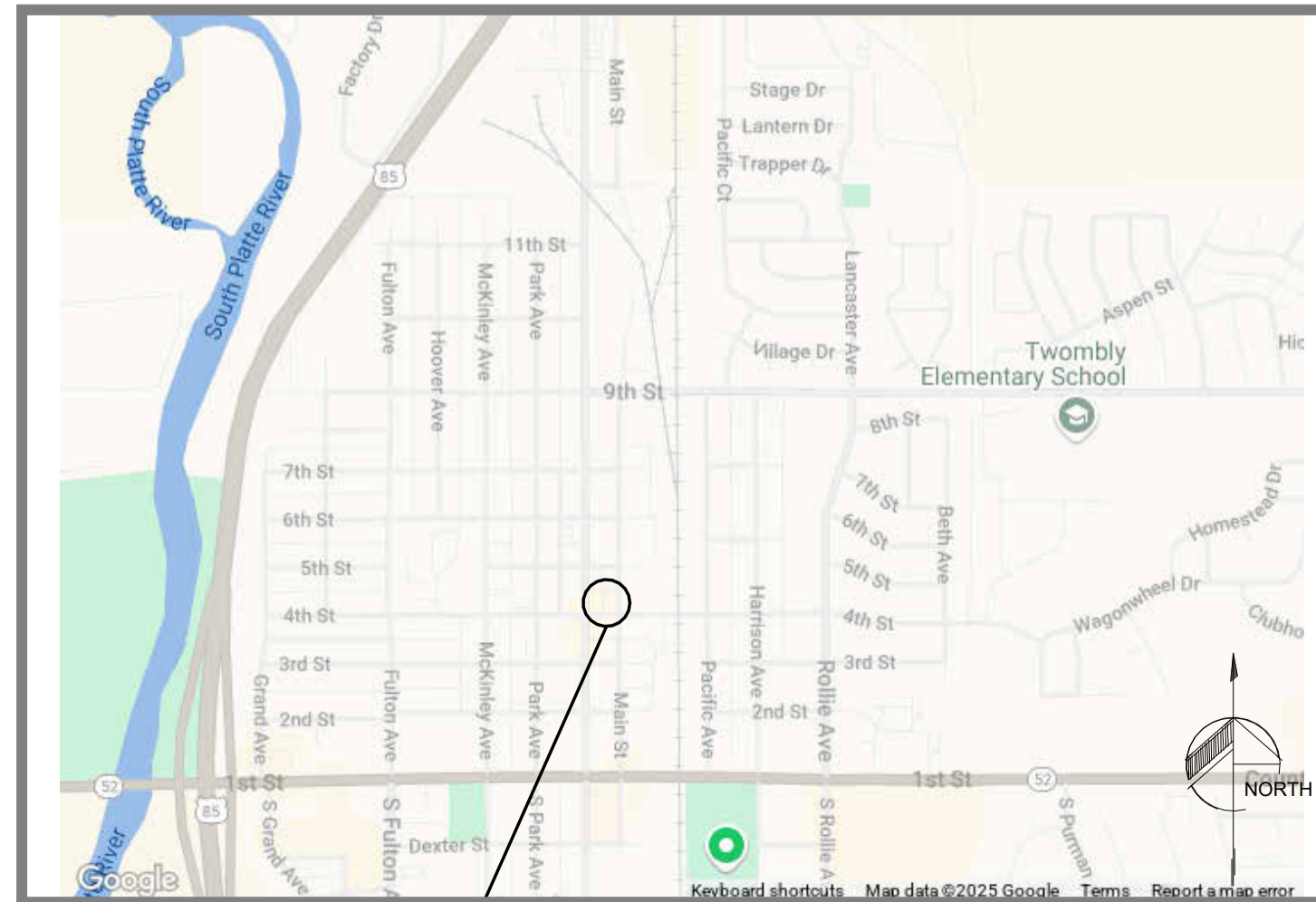
STRUCTURAL ENGINEER:
MCBRIDE STRUCTURAL DESIGN
FORT COLLINS, CO 80525
PH: 970.420.5316
CONTACT NAME: JOHN MCBRIDE
CONTACT: john@mcbridestructural.com

MECHANICAL:
INTEGRATED MEP
320 Maple Street, Suite 110
FORT COLLINS, CO 80521
PH: 970-556-0570
CONTACT NAME: TOM SEGELHORST
CONTACT: Thomas-s@int-mep.com

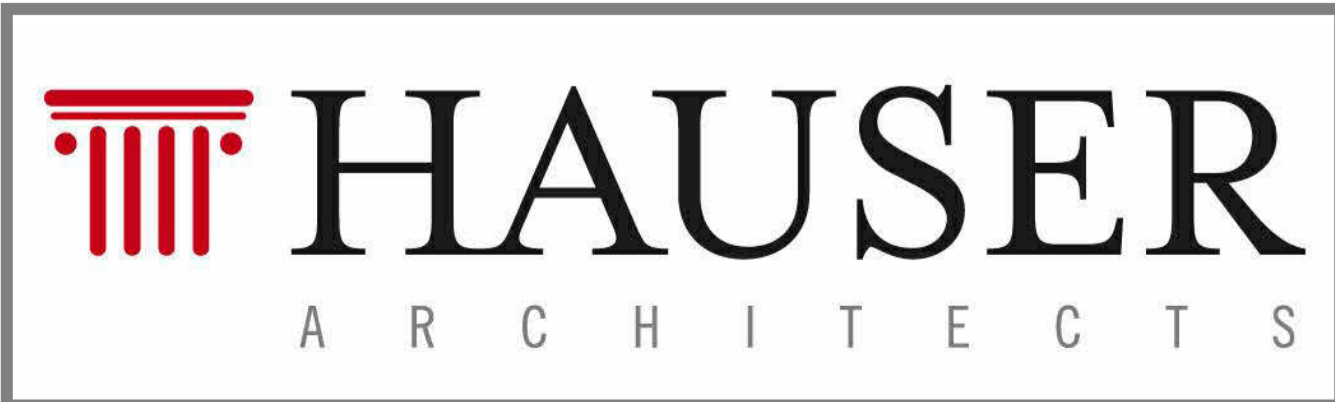
PLUMBING:
INTEGRATED MEP
320 Maple Street, Suite 110
FORT COLLINS, CO 80521
PH: 970-556-0570
CONTACT NAME: TOM SEGELHORST
CONTACT: Thomas-s@int-mep.com

ELECTRICAL:
INTEGRATED MEP
320 Maple Street, Suite 110
FORT COLLINS, CO 80521
PH: 970-556-0570
CONTACT NAME: LARRY SMITH
CONTACT: Larry-s@int-mep.com

VICINITY MAP

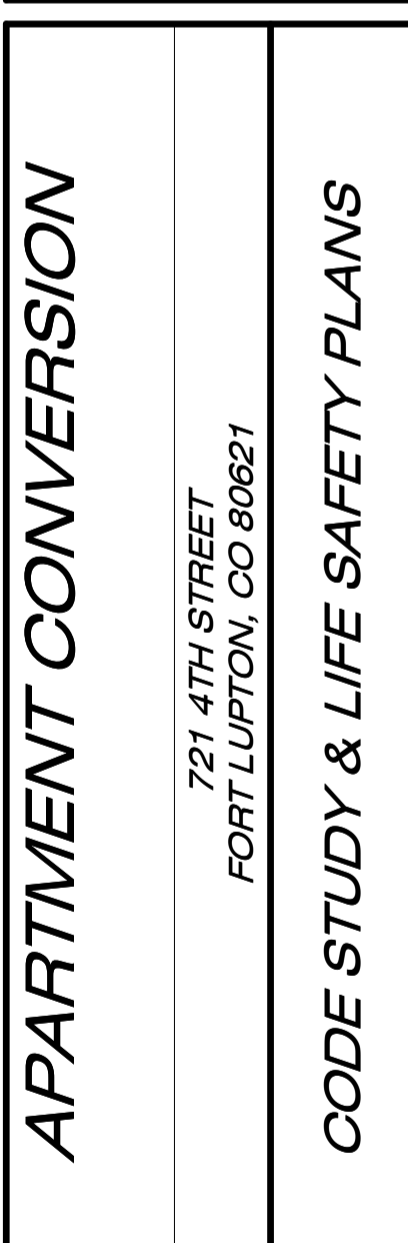
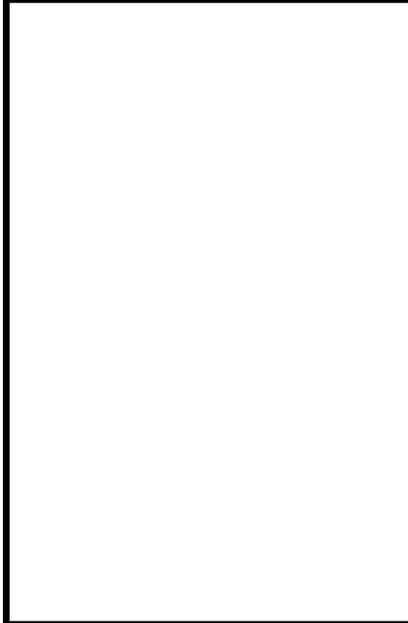
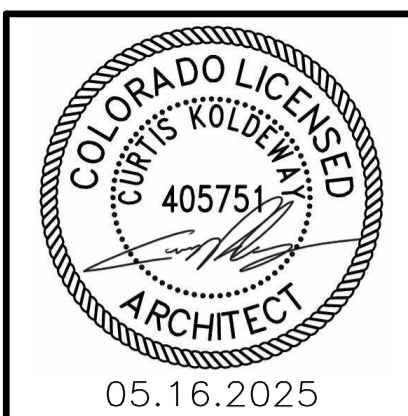


SITE



**PERMIT SET
05.16.2025**

SHEET A0.0



NO.	REVISIONS	DATE
1	PERMIT SET	2025.05.16

SHEET **A0.1**

GA FILE NO. WP 3243 **GENERIC**

GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1 1/4" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space.

OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 1 7/8" long, 0.0915" shank, 1 5/64" heads, 7" o.c.

Vertical joints staggered 24" on opposite sides. **(LOAD-BEARING)**

1 HOUR FIRE	50 to 54 STC SOUND
--------------------	---------------------------

Thickness: 5 3/8"
Approx. Weight: 7 psf
Fire Test: Based on UL R14196, 05NK05371, 2-15-05, UL Design U309
Sound Test: NRCC TL-93-103, IRC-IR-761, 3/98

GA FILE NO. WP 3370 **GENERIC**

GYPSUM WALLBOARD, WOOD STUDS

One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of double row of 2 x 4 wood studs 16" o.c. on separate plates 1" apart with 6d coated nails, 1 7/8" long, 0.0915" shank, 1 1/4" heads, 7" o.c.

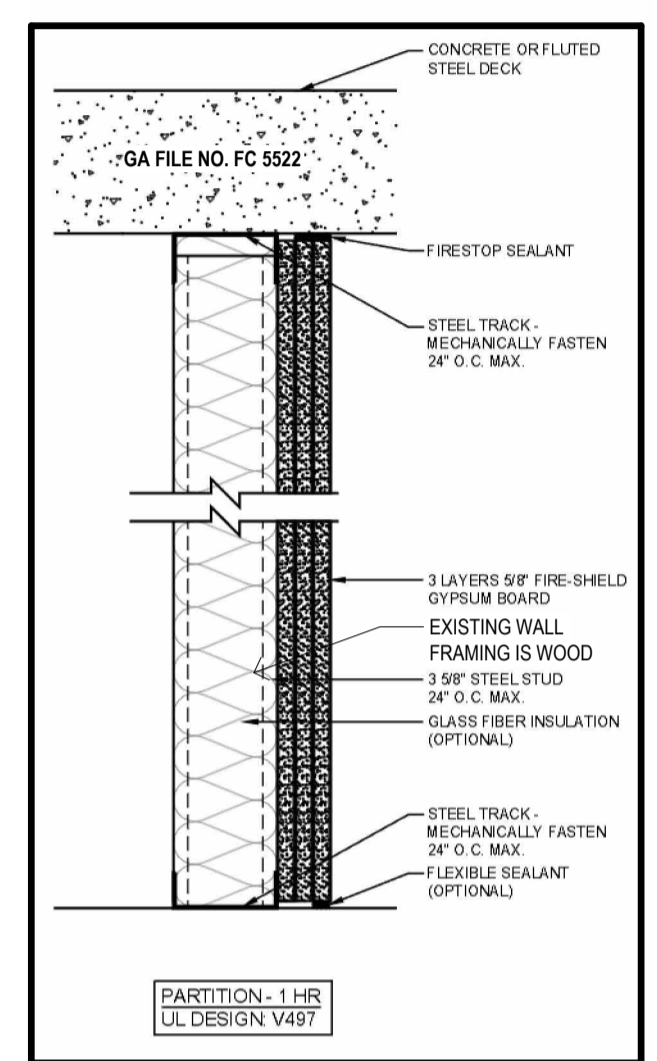
Joints staggered 16" on opposite sides. Horizontal bracing required at mid-height. **(LOAD-BEARING)**

1 HOUR FIRE	45 to 49 STC SOUND
--------------------	---------------------------

Thickness: 9 1/2"
Approx. Weight: 8 psf
Fire Test: See WP 3605 (UL R1319-4, 6, 6-17-52; UL R2717-39, 1-20-66; UL R3501-52, 3-15-66; UL Design U305; UL C Design W301); UL R4024, 10-31-66
Sound Test: NRCC TL-93-261, IRC-IR-761, 3/98

EcoTouch® PINK® FIBERGLAS™ Insulation with PureFiber® Technology—Acoustic Batts

UL #	Acoustic Test #	STC	Assembly
GA-WP-3370 NBC-W13a	NRC-TL-93-266	56	1 Layer, 3/4" each side, 16" or 24" OC, 3 1/2" FB



GA FILE NO. FC 5522 **GENERIC**

WOOD I-JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS

Base layer 1/2" type X gypsum wallboard applied at right angles to resilient channels 16" o.c. with 1 1/4" Type S drywall screws 12" o.c. Resilient channels applied at right angles to minimum 9 1/2" deep wood I-joists, with minimum 1 1/4" deep x 1 1/2" wide flanges and minimum 3/8" webs, 24" o.c. with 1 1/4" Type W drywall screws. Face layer 1/2" type X gypsum wallboard applied at right angles to channels with 1 5/8" Type S drywall screws 12" o.c. Face layer end joints located midway between channels and attached to base layer with 1 1/2" Type G screws 12" o.c. Edge joints offset 24" from base layer edge joints. Wood I-joists supporting 5/8" oriented strand board applied at right angles to I-joists with 8d common nails 12" o.c.

1 HOUR FIRE

Approx. Ceiling Weight: 5 psf
Fire Test: NRCC A-4440.1 (Revised), 6-24-97

FC-1 + CARTWRIGHT SOUND MAT FOR MINIMUM STC RATING

CARTWRIGHT DISTRIBUTING INC.
4851 Kingston St., Denver, CO 80239
Phone: (303) 271-7950
Fax: (303) 271-7953 or 1-800-633-1779
www.cartwrightdistributing.com

STOCKING PRODUCTS

- Silencer LVT**: High Density Polyurethane Foam, 100% Recyclable, "Ultimate" Antimicrobial, Resilient Barrier Film, Approved for Radon Heat, Suitable for Step Down and Floating Installations. STC 68, STC 70, Noise 22, Density 20 lb, Coverage: 6.2 sq ft.
- Ultimate Silencer**: High Density Foam & Recycled Rubber, Resilient Barrier Film, Step Down Approved, Lip & Tape Installation, "Ultimate" Antimicrobial, Approved for Radon Heat, Suitable for Floating, Step Down and Nail Down Installations. STC 73, STC 75, Noise 22, Density 25 lb, Coverage: 29 sq ft.
- Eclipse II**: Dense Closed Cell EVA Foam, Resilient Barrier Film, Lip & Tape Installation, Acoustic Sound Dampening, Approved for Radon Heat, Suitable for Floating Installations. STC 64, STC 72, Noise 22, Density 20 lb, Coverage: 6.2 sq ft.

REFERENCE CODE - CITY OF FORT LUPTON
2018 International Building Code
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Fuel Gas Code
2018 International Existing Building Code
2018 International Energy Conservation Code
2018 International Fire Code
2023 National Electrical Code (State Mandated)

OCCUPANCY CLASSIFICATION - CHAPTER 3 R-2 (APARTMENT HOUSES)

CONSTRUCTION TYPE - CHAPTER 6 TYPE V-B

FIRE PROTECTION & LIFE SAFETY
AUTOMATIC SPRINKLER SYSTEM YES PER NFPA-13R
FIRE ALARM AND SMOKE DETECTION SYSTEM:
LOCAL ALARM, SMOKE DETECTORS WITHIN EACH INDIVIDUAL UNIT
EMERGENCY LIGHTING
EXIT SIGNS
YES, ILLUMINATED WITH BATTERY BACKUP
PANIC HARDWARE
PUSH/PULL @ EXTERIOR BUILDING ENTRY

BUILDING AREA

1-STORY SIDE ONLY	
ADJACENT OFFICE AREA (NOT IN SCOPE)	2,302 SF
2-STORY	
APARTMENT AREA (LOWER FLOOR)	2,309 SF
COMMON AREA (LOWER FLOOR)	112 SF
APARTMENT AREA (UPPER FLOOR)	2,270 SF
COMMON AREA (UPPER FLOOR)	151 SF
LOWER FLOOR TOTAL AREA	2,421 SF
UPPER FLOOR TOTAL AREA	2,421 SF
TOTAL APARTMENT AREA	4,841 SF

BASIC ALLOWABLE AREA AND HEIGHT PER TABLES 504.3, 504.4 AND 506.2

CONSTRUCTION TYPE	V-B
R	60 FEET HEIGHT
R-2	3-STORIES
R-2	27,000 SF

TOTAL OCCUPANT LOAD - TABLE 1004.1.2

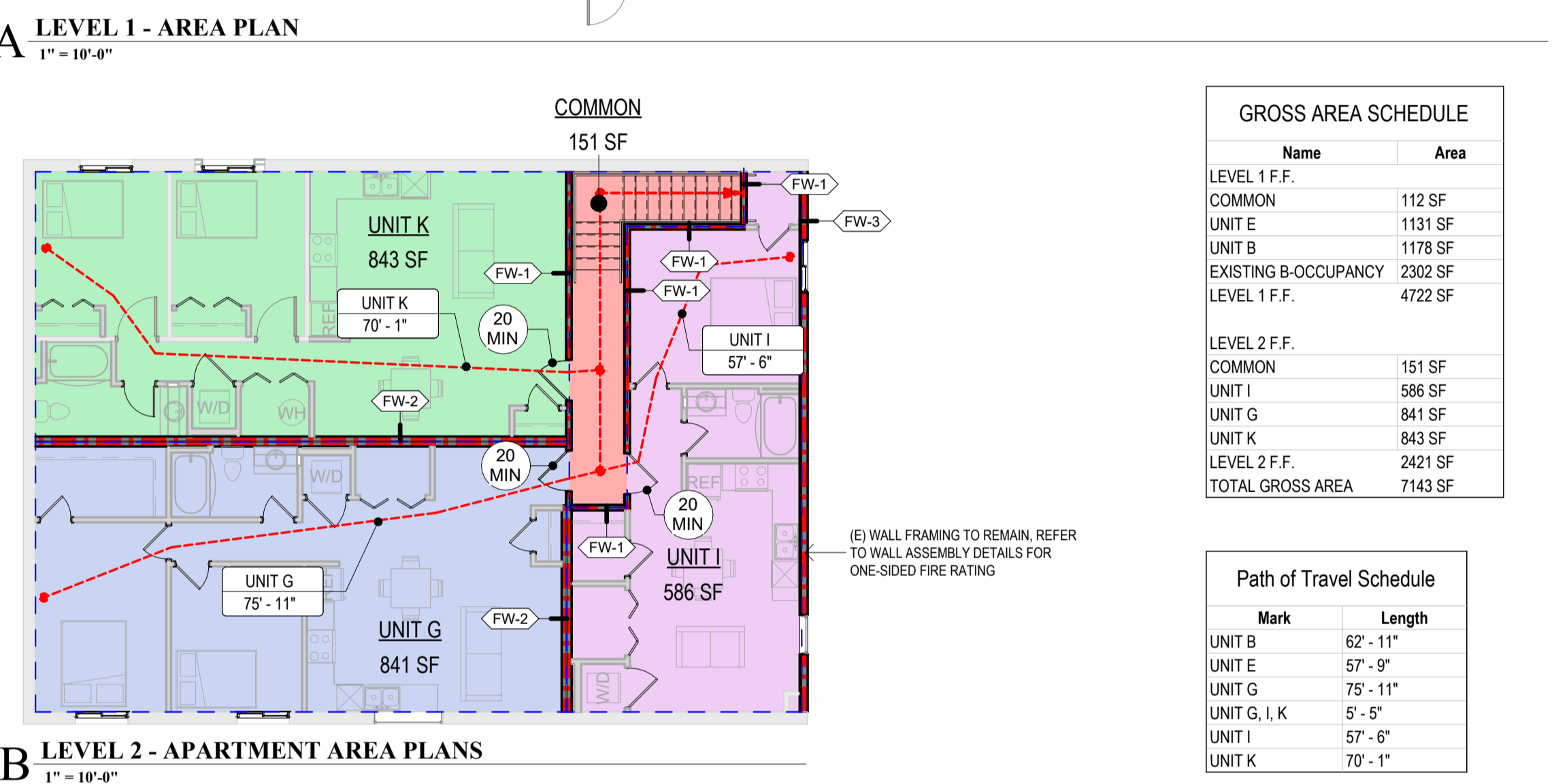
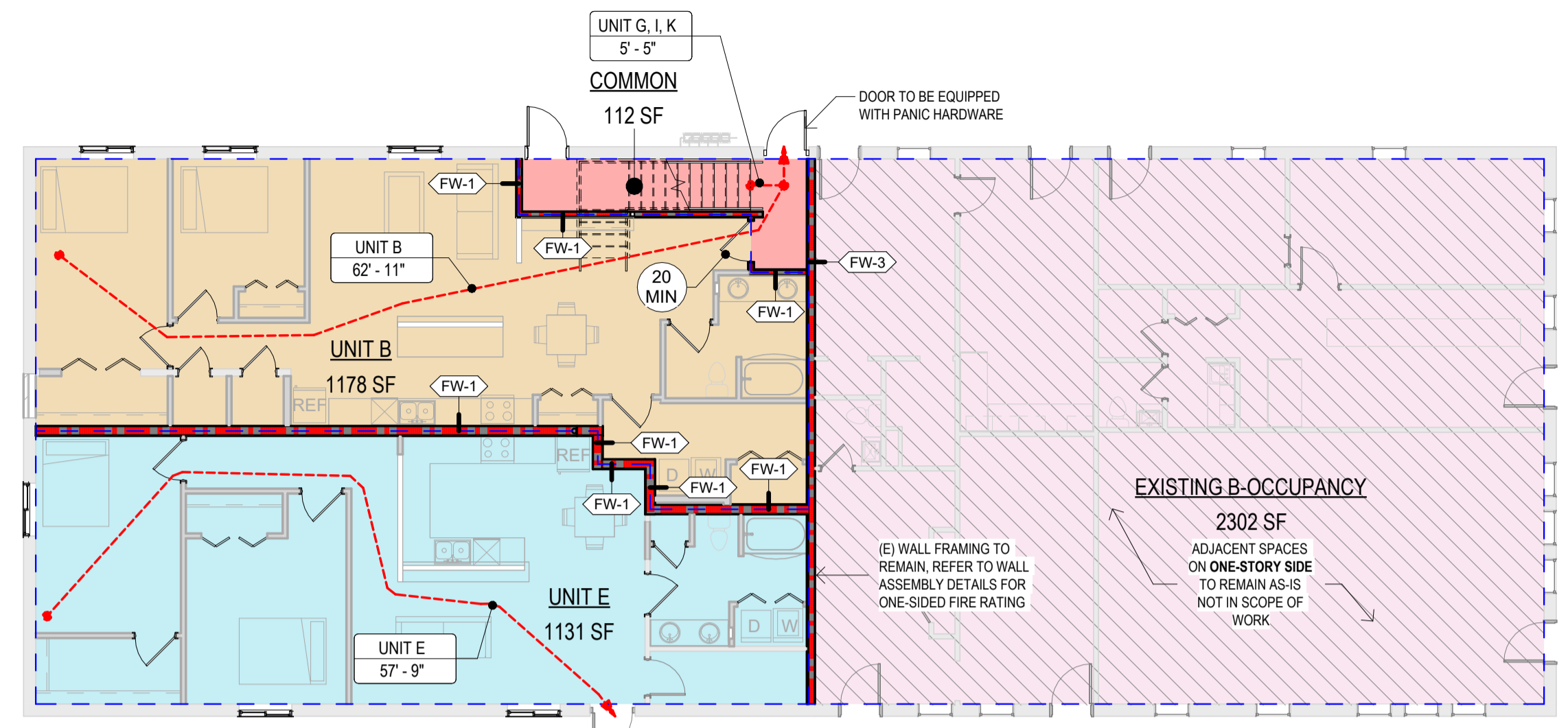
LOWER FLOOR		
UNIT B	1178 SF / 200	6 OCCUPANTS
UNIT E	1131 SF / 200	6 OCCUPANTS
UPPER FLOOR		
UNIT G	841 SF / 200	5 OCCUPANTS
UNIT I	586 SF / 200	3 OCCUPANTS
UNIT K	843 SF / 200	5 OCCUPANTS
TOTAL OCCUPANTS		25 OCCUPANTS

EXIT ACCESS TRAVEL DISTANCE PER TABLE 1017.2

R-2 (SPRINKLED)	= 250 FEET MAXIMUM
-----------------	--------------------

COMMON PATH OF EGRESS TRAVEL PER TABLE 1006.2.1

R-2 (SPRINKLED)	= 125 FEET MAXIMUM
-----------------	--------------------



GROSS AREA SCHEDULE

Name	Area
LEVEL 1 F.F.	
COMMON	112 SF
UNIT E	1131 SF
UNIT B	1178 SF
EXISTING B-OCCUPANCY	2302 SF
LEVEL 1 F.F.	4722 SF
LEVEL 2 F.F.	
COMMON	151 SF
UNIT I	586 SF
UNIT G	841 SF
UNIT K	843 SF
LEVEL 2 F.F.	2421 SF
TOTAL GROSS AREA	7143 SF

Path of Travel Schedule

Mark	Length
UNIT B	62' - 11"
UNIT E	57' - 9"
UNIT G	75' - 11"
UNIT G, I, K	5' - 5"
UNIT I	57' - 6"
UNIT K	70' - 1"

EXIT ACCESS TRAVEL DISTANCE PER TABLE 1017.2
R-2 (SPRINKLED) = 250 FEET MAXIMUM

COMMON PATH OF EGRESS TRAVEL PER TABLE 1006.2.1
R-2 (SPRINKLED) = 125 FEET MAXIMUM

1-HOUR WALLS (FIRE PARTITIONS) SEPARATING DWELLING UNITS IN THE SAME BUILDING ARE REQUIRED IN ACCORDANCE WITH SECTIONS 420.2 AND 708. FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF FOUNDATION/FINISH FLOOR TO THE UNDERSIDE OF THE FLOOR DECK ABOVE OR TO THE UNDERSIDE OF THE ROOF DECK.

1-HOUR SEPARATION IS REQUIRED BETWEEN R AND B OCCUPANCIES PER TABLE 508.4. SEPARATION WALLS SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER SECTION 420.2

1-HOUR FLOOR (HORIZONTAL ASSEMBLIES) SEPARATING DWELLING UNITS IN THE SAME BUILDING ARE REQUIRED IN ACCORDANCE WITH SECTIONS 420.3 AND 711.

A FIRE RATED ROOF/CEILING IS NOT REQUIRED PER TABLE 601.

ALL MAIN FLOOR UNITS ARE "TYPE B" AND SHALL COMPLY WITH SECTION 1107.6.2 AND ANSI A117.1-2018.

1-HOUR PROTECTION UNDER INTERIOR STAIRWAYS IS REQUIRED PER SECTION 1011.7.3

A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50 IS PROVIDED PER SECTION 1206.2 AT WALLS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS. A IMPACT INSULATION CLASS (IIC) RATING OF NOT LESS THAN 50 IS REQUIRED AT FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS.

- FIREBLOCKING SHALL BE PROVIDED TO COMPLY WITH SECTION 718
- CONCEALED SPACES OF STUD WALLS AND PARTITIONS- VERTICALLY AT CEILING AND FLOOR LEVELS; HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES
 - OPENINGS AT VENTS, PIPES AND DUCTS
 - CONCEALED SLEEPER SPACES
 - CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS

- AUTOMATIC SPRINKLER SYSTEMS PER SECTION 903**
- FIRE SPRINKLERS REQUIRED PER SECTION 903.2.8
 - SPRINKLER SYSTEM TO BE NFPA 13R PER SECTION 903.3.1.2

- FIRE ALARM AND DETECTION SYSTEMS PER SECTION 907**
- MANUAL FIRE ALARM REQUIRED PER SECTION 907.2.9
 - SINGLE- OR MULTIPLE-STATION SMOKE ALARMS REQUIRED PER SECTION 907.2.10
 - VISIBLE & AUDIBLE ALARM NOTIFICATION APPLIANCES REQUIRED PER SECTION 420.4.4, 11B, & 907.9
 - CARBON MONOXIDE DETECTION PER 915.1.1

- GENERAL FIRE PROTECTION REQUIREMENTS**
- AUTOMATIC SPRINKLER SYSTEM PLANS SHALL BE SUBMITTED TO DETERMINE COMPLIANCE WITH BUILDING, PLUMBING, AND FIRE CODES TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL.
 - VALVES FOR CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES SHALL BE ELECTRONICALLY MONITORED PER SECTION 903.4
 - AN APPROVED AUDIBLE SPRINKLER FLOW ALARM SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 903.4.2
 - ALL SMOKE DETECTORS SHALL BE INTERCONNECTED AND LOCATED PER SECTION 907.2.10.2
 - FIRE ALARM DRAWINGS SHALL BE SUBMITTED TO FIRE DEPARTMENT FOR REVIEW AND APPROVAL.

STAIRWAYS PER SECTION 1011

WIDTH:
36" MINIMUM PER SECTION 1011.2, EXCEPTION 1
(3.9" REQUIRED PER SECTION 1006.3.1, EXCEPTION 1. FORMULA: 13 x 0.3 = 3.9)

HEADROOM:
80" MINIMUM MEASURE VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS PER SECTION 1011.3

TREADS AND RISERS:
RISERS = 4" MINIMUM AND 7" MAXIMUM HEIGHT, TREADS = 11" MINIMUM DEPTH PER SECTION 1011.5.2

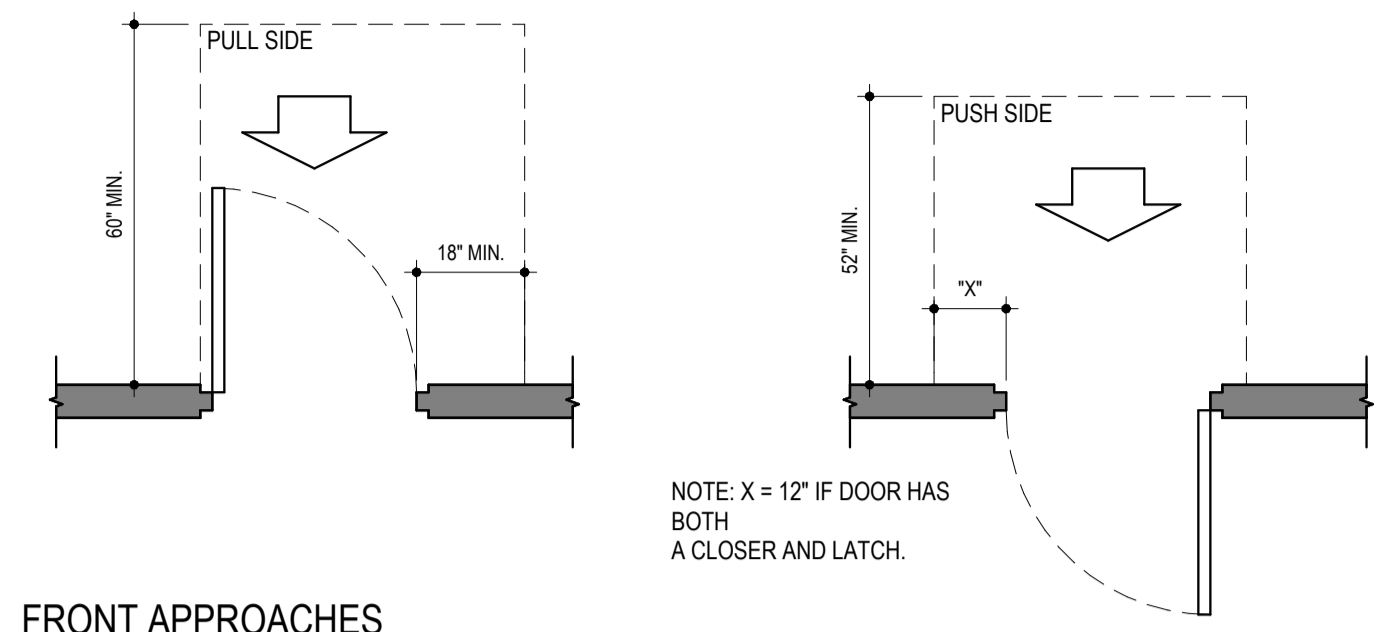
DIMENSIONAL UNIFORMITY:
TOLERANCE BETWEEN LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8" PER SECTION 1011.5.4

LANDINGS:
WIDTH OF LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY SERVED. LANDINGS SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL EQUAL TO THE WIDTH OF THE STAIRWAY OR 48 INCHES, WHICHEVER IS LESS PER SECTION 1011.6

HANDRAILS:
HANDRAIL HEIGHT SHALL BE UNIFORM, AND 34" MINIMUM AND 38" MAXIMUM ABOVE STAIR TREAD NOSINGS PER SECTION 1014. HANDRAILS SHALL RETURN TO A WALL, GUARD, OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT. WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAILS SHALL EXTEND HORIZONTALLY AT LEAST 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER PER SECTION 1014.6

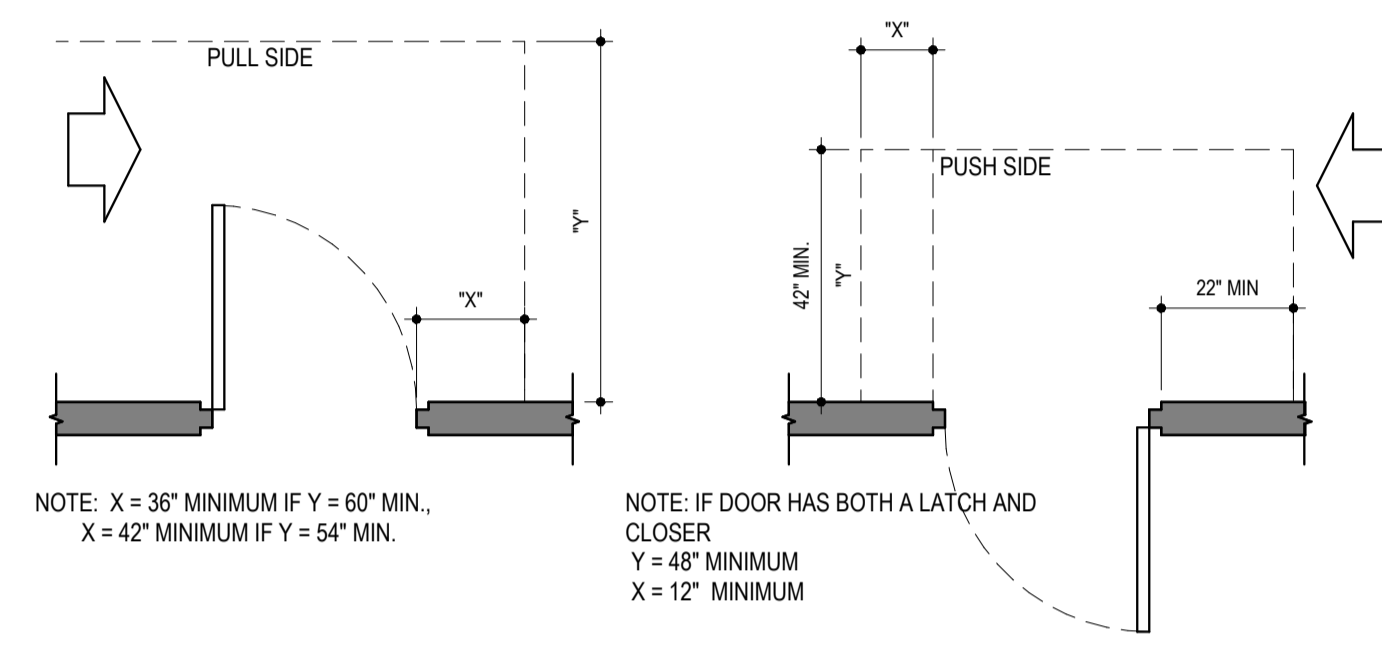
5/16/2025 9:34:59 AM

REVIEWED FOR CODE COMPLIANCE
REVIEWED BY: [Signature]



FRONT APPROACHES

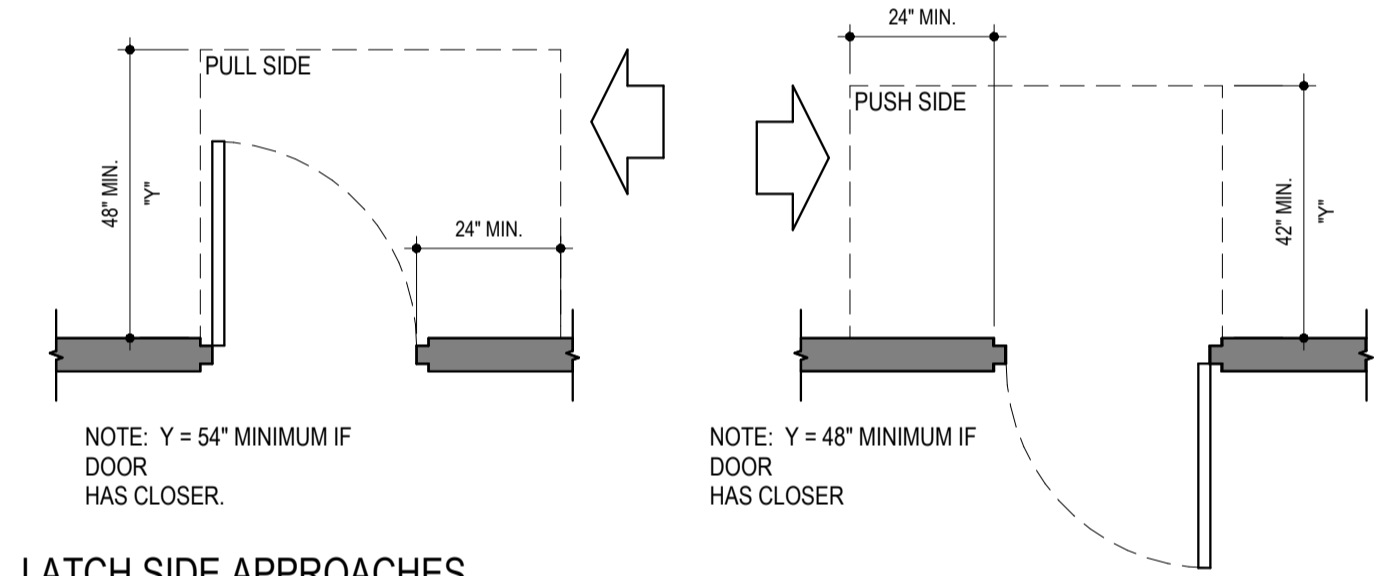
NOTE: X = 12" IF DOOR HAS BOTH A CLOSER AND LATCH.



HINGE SIDE APPROACHES

NOTE: X = 36" MINIMUM IF Y = 60" MIN., X = 42" MINIMUM IF Y = 54" MIN.

NOTE: IF DOOR HAS BOTH A LATCH AND CLOSER Y = 48" MINIMUM X = 12" MINIMUM

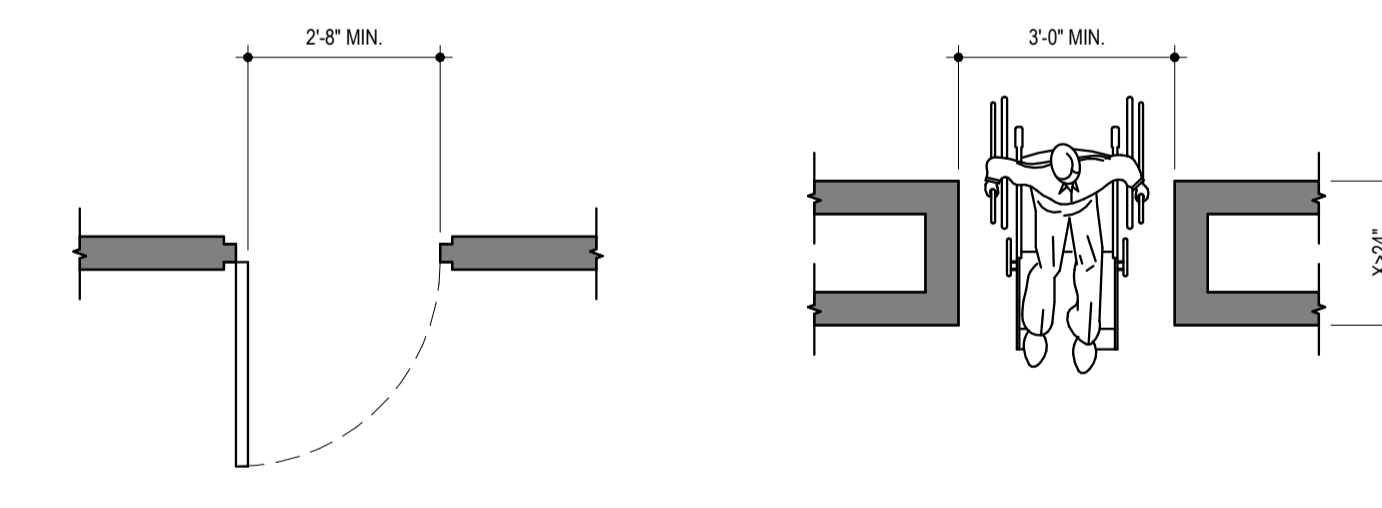


LATCH SIDE APPROACHES

NOTE: CLEARANCES REQUIRED AT ALL DOORS IN COMMON AREAS, TYPE 'A' UNITS, AND THE CORRIDOR SIDE OF THE DOOR AT TYPE 'B' UNITS
NOTE: ALL DIMENSIONS ARE TO FACE OF FINISH

MANEUVERING CLEARANCES

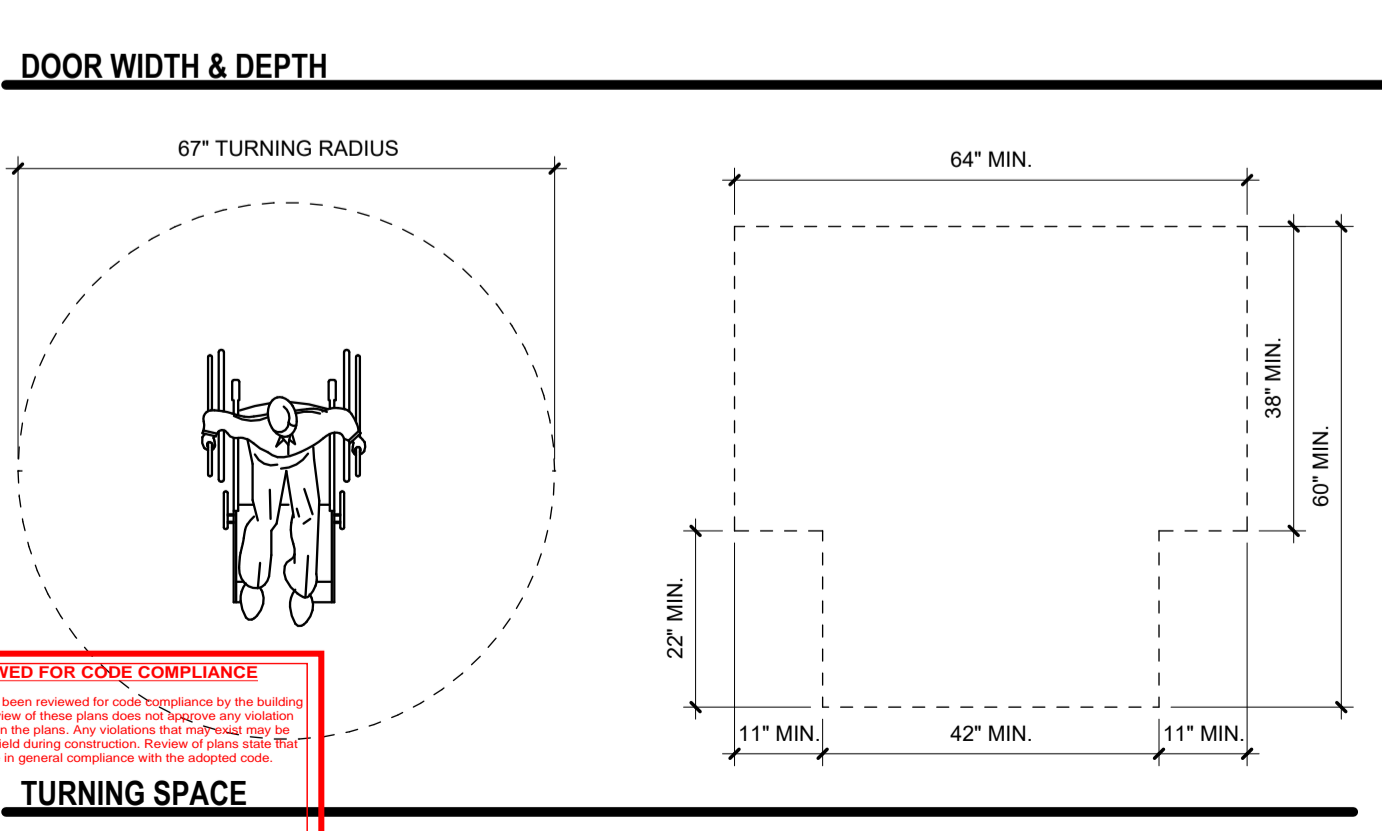
MANUAL SWINGING DOORS



HINGED DOOR

DOORWAY WITHOUT DOORS

NOTE: ALL DIMENSIONS ARE TO FACE OF FINISH



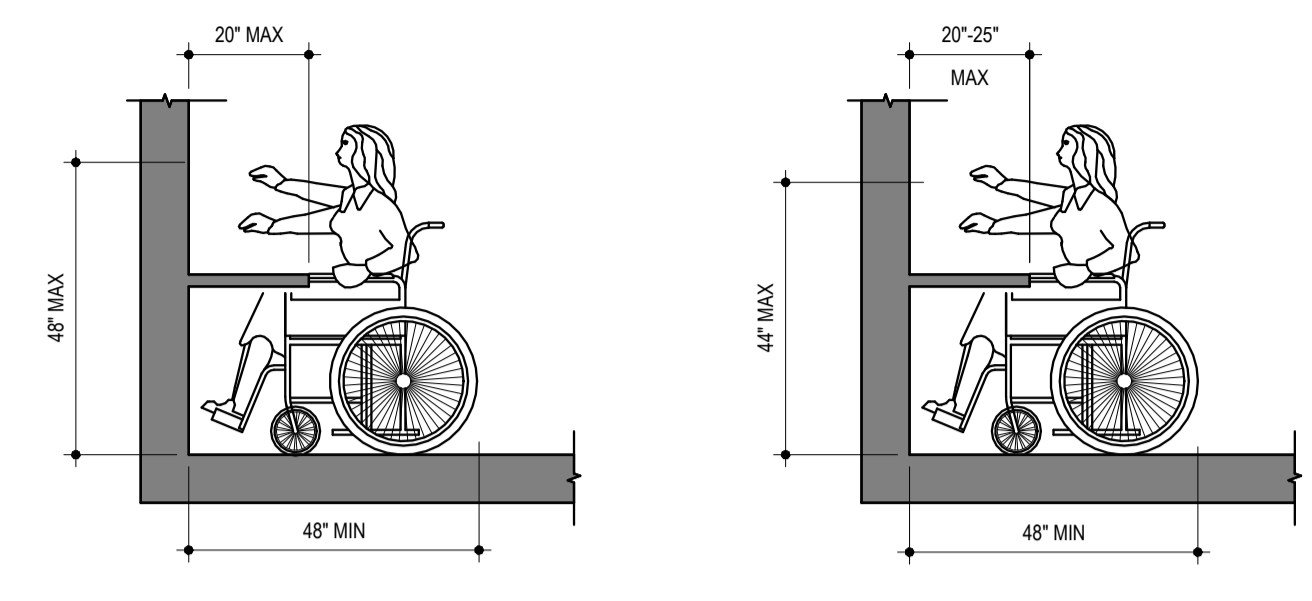
TURNING SPACE

5/16/2025 9:35:00 AM

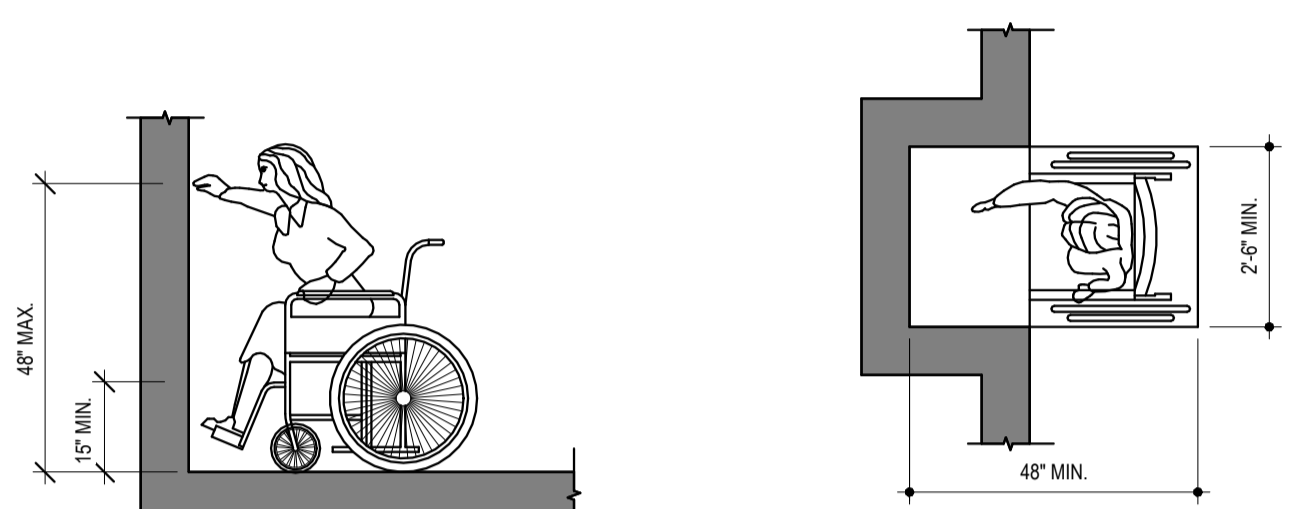
tects, P.C.

REVIEWED FOR CODE COMPLIANCE
These plans have been reviewed for code compliance by the building department. Review of these plans does not constitute any warranty that any requirements for these plans are met. Any necessary code compliance is the responsibility of the applicant.

REVIEWED BY: [Signature]



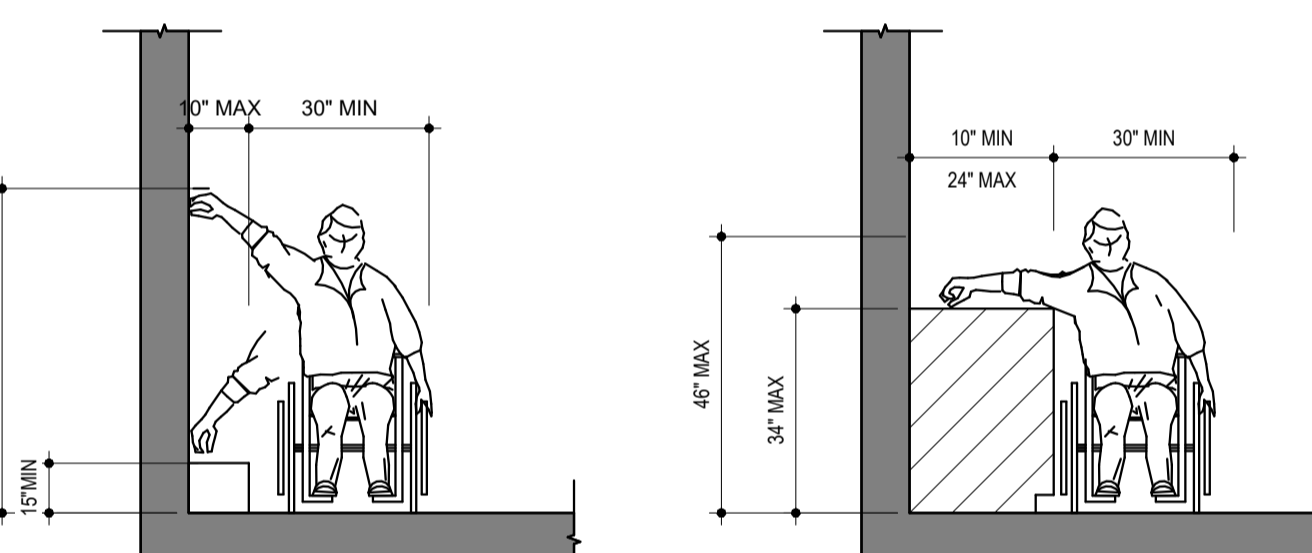
MAXIMUM FORWARD REACH OVER AN OBSTRUCTION



UNOBSTRUCTED FORWARD REACH

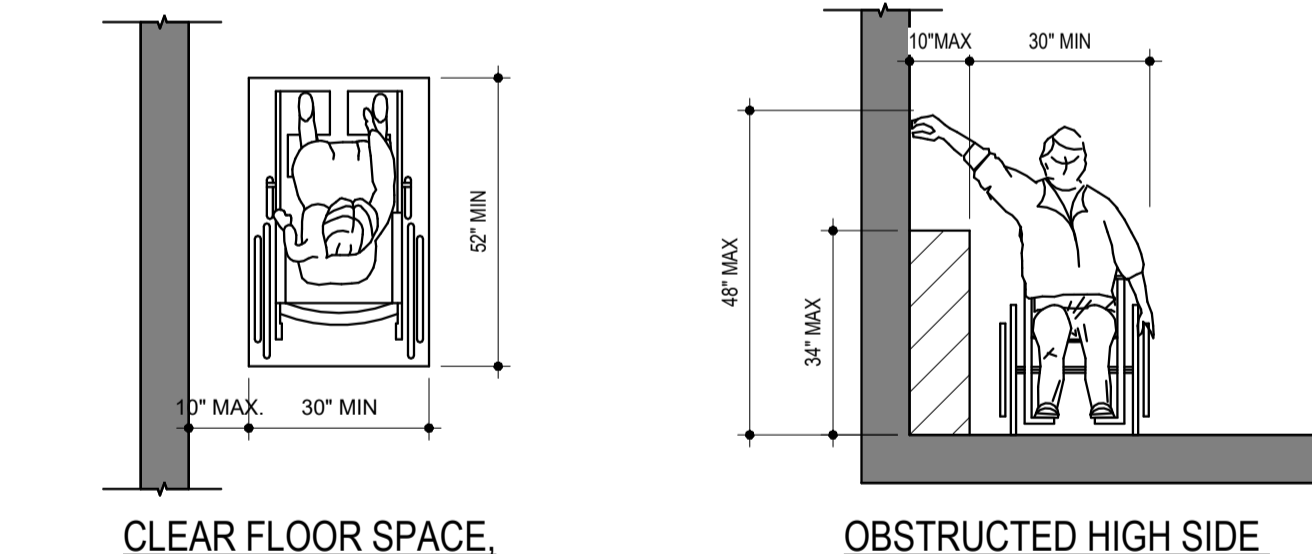
MAXIMUM FORWARD REACH OVER AN OBSTRUCTION

FORWARD REACH RANGES



UNOBSTRUCTED HIGH AND LOW SIDE REACH LIMITS

OBSTRUCTED HIGH SIDE REACH

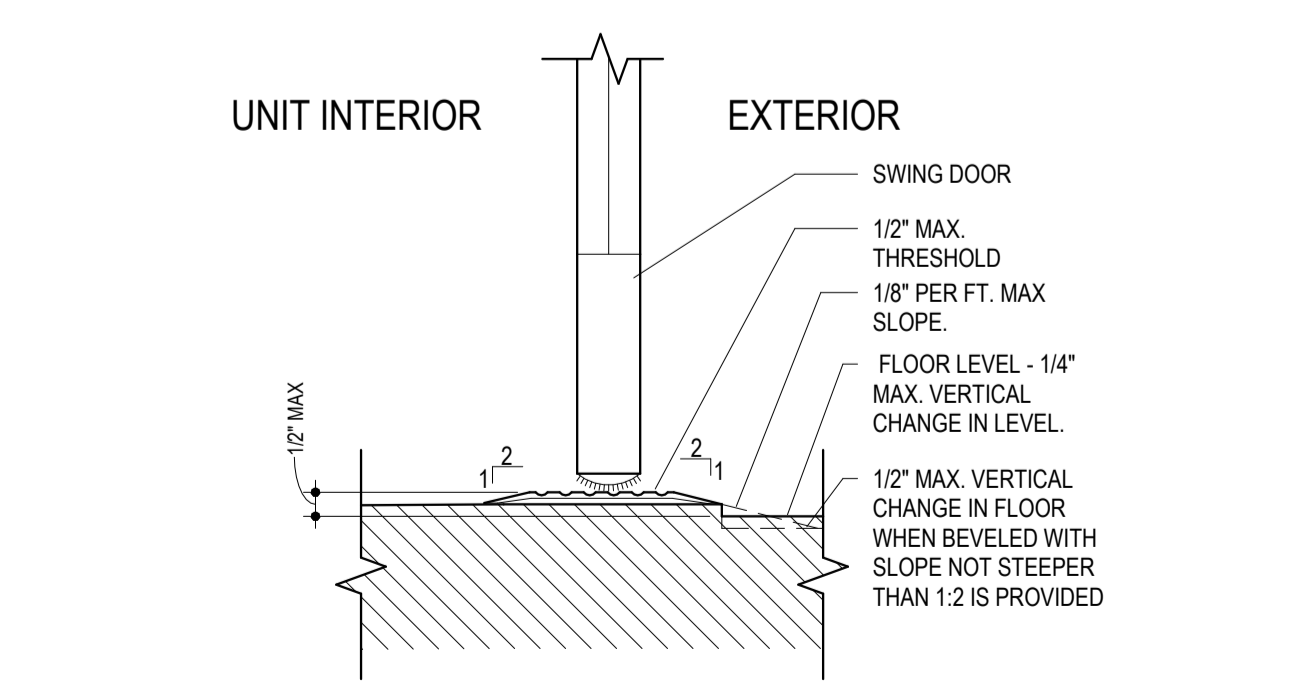


CLEAR FLOOR SPACE, PARALLEL APPROACH

OBSTRUCTED HIGH SIDE REACH

SIDE REACH RANGES

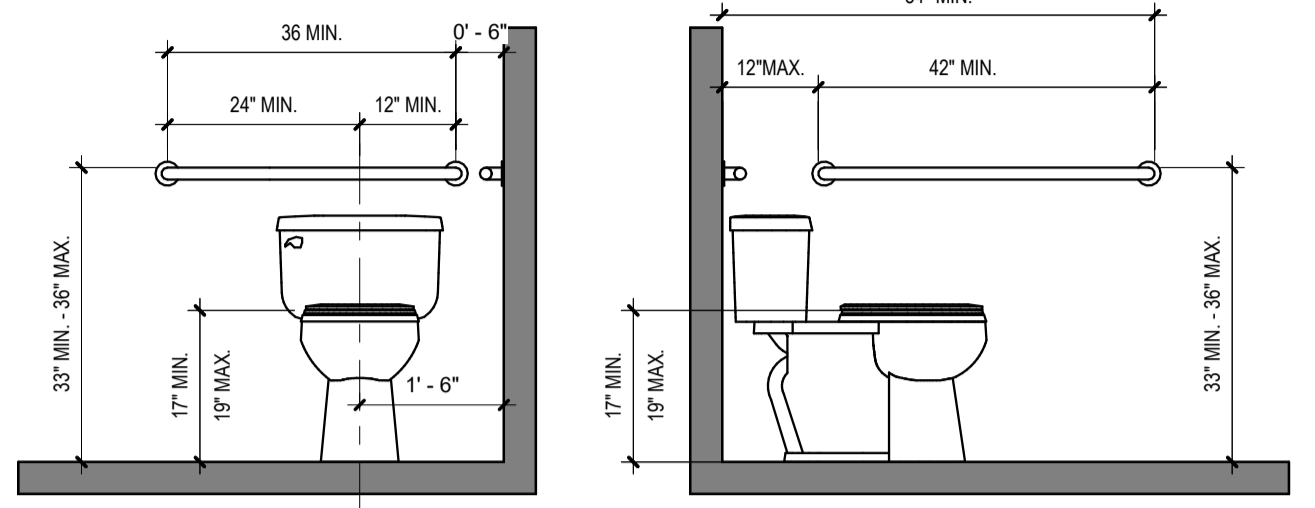
REACH RANGES - ANSII



EXTERIOR DOOR THRESHOLD A

EXTERIOR/INTERIOR THRESHOLD AT ALL ANSII TYPE 'A' DOORS, AND PRIMARY ENTRANCE DOORS AT ALL OTHER ACCESSIBLE UNITS (TYPE 'A' AND/OR TYPE 'B' AND FHA)

- GRAB BARS ARE NOT REQUIRED TO BE INSTALLED IN TYPE A OR TYPE B UNITS WHEN REINFORCEMENT IS PROVIDED FOR THE FUTURE INSTALLATION OF GRAB BAR.
- IN A TYPE B UNIT, WHEN A SIDE WALL IS NOT AVAILABLE FOR A 42" GRAB BAR, THE SIDEWALL GRAB BAR SHALL BE PERMITTED TO BE 18" MIN. IN LENGTH, LOCATED 12" MAX. FROM REAR WALL AND EXTENDING 30" MIN. FROM THE REAR WALL.
- IN A TYPE A OR TYPE B UNIT, WHERE SPACE DOES NOT ALLOW A GRAB BAR 36" MIN. IN LENGTH, THE REAR GRAB BAR SHALL BE PERMITTED TO BE 24" MINIMUM IN LENGTH, CENTERED ON THE WATER CLOSET.
- ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHERE A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE.
- ALL DIMENSIONS ARE TO FACE OF FINISH.

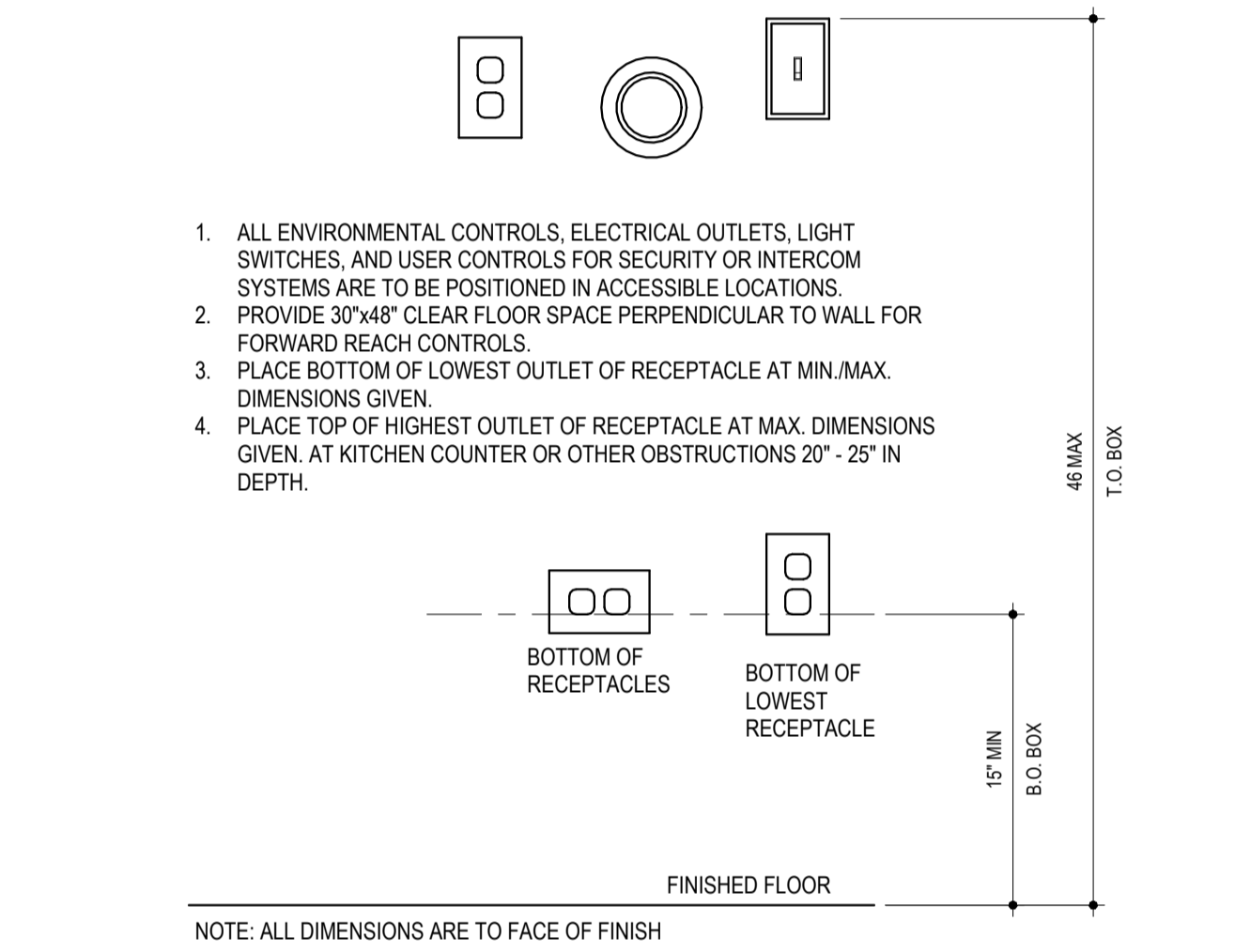


REAR WALL

SIDE WALL

NOTE: FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF WATER CLOSET
NOTE: INFORMATION BASED ON THE AMERICANS WITH DISABILITIES ACT

WATER CLOSET - GRAB BARS

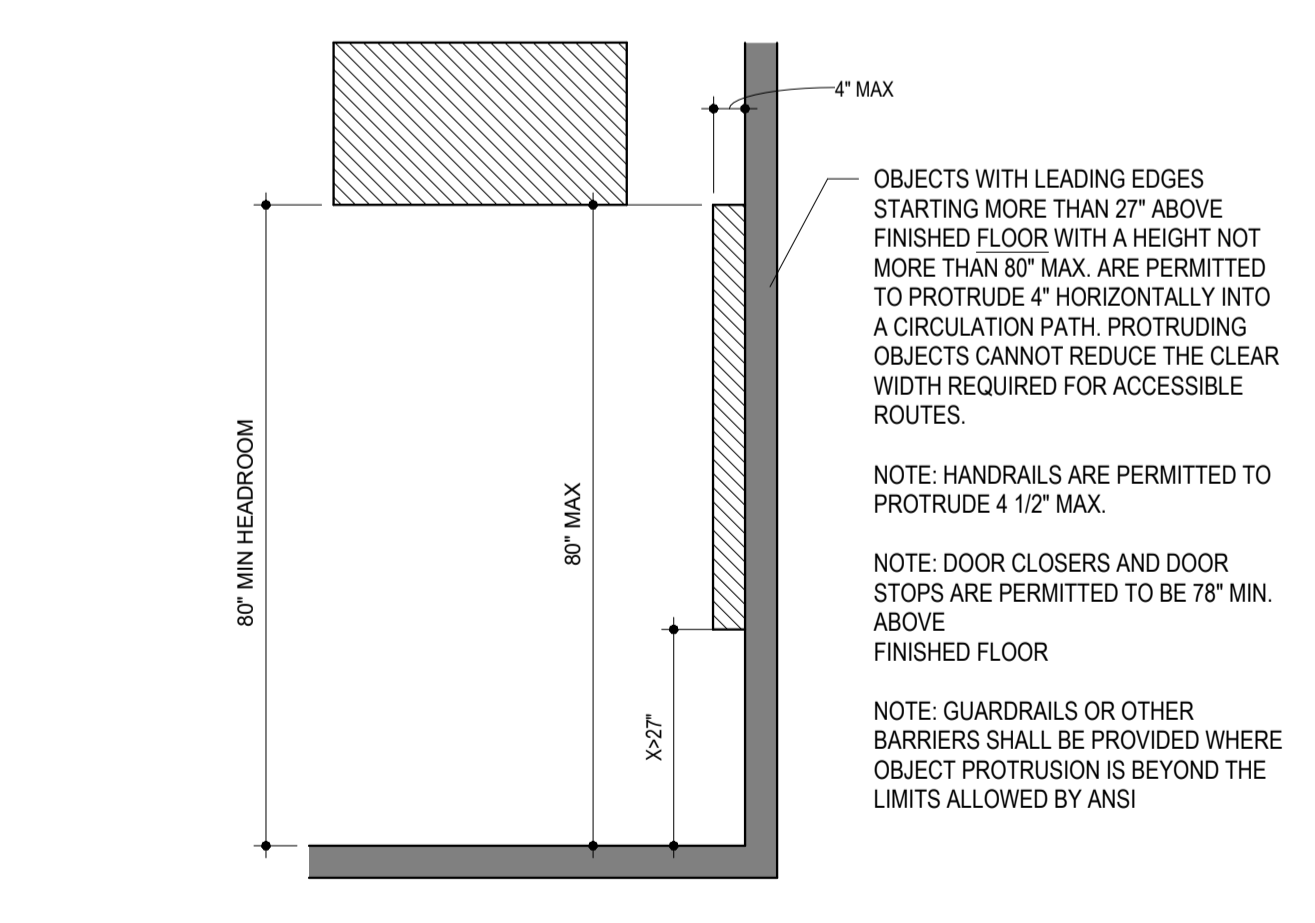


- ALL ENVIRONMENTAL CONTROLS, ELECTRICAL OUTLETS, LIGHT SWITCHES, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS ARE TO BE POSITIONED IN ACCESSIBLE LOCATIONS.
- PROVIDE 30"X48" CLEAR FLOOR SPACE PERPENDICULAR TO WALL FOR FORWARD REACH CONTROLS.
- PLACE BOTTOM OF LOWEST OUTLET OF RECEPTACLE AT MIN. MAX. DIMENSIONS GIVEN.
- PLACE TOP OF HIGHEST OUTLET OF RECEPTACLE AT MAX. DIMENSIONS GIVEN AT KITCHEN COUNTER OR OTHER OBSTRUCTIONS 20" - 25" IN DEPTH.

NOTE: ALL DIMENSIONS ARE TO FACE OF FINISH

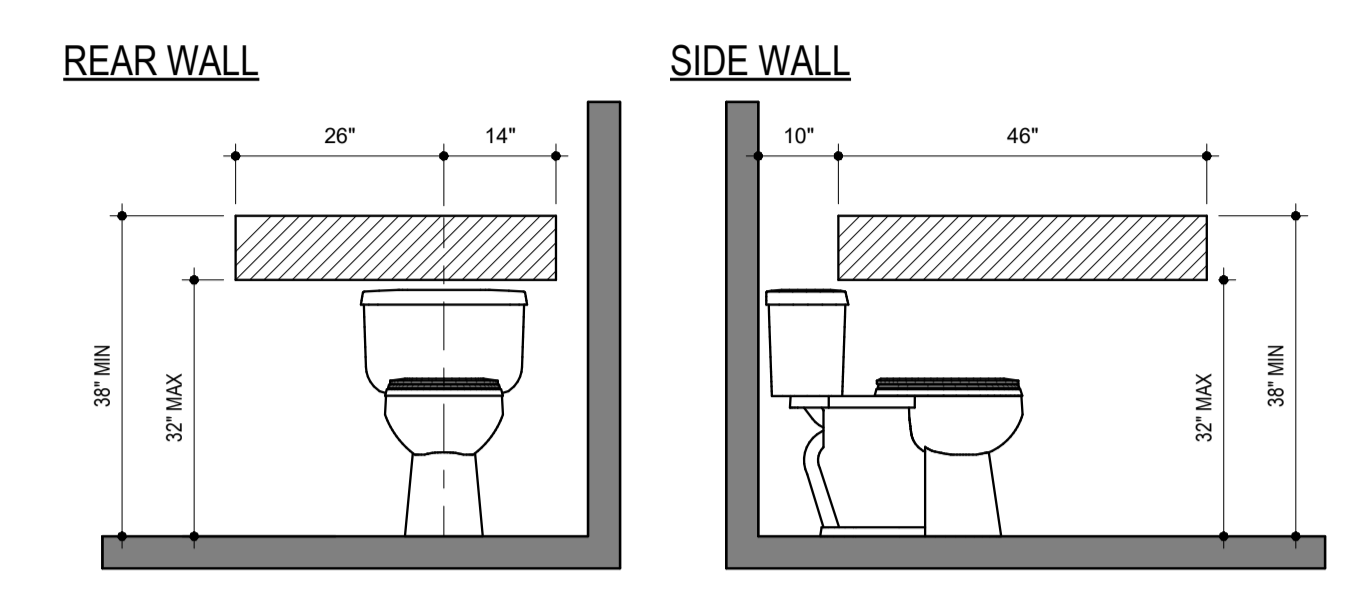
NOTE: AT ANSII TYPE A UNITS REACH RANGES ALSO APPLY TO APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, AND PLUMBING FIXTURES

OUTLETS/SWITCHES/CONTROLS



NOTE: ALL DIMENSIONS ARE TO FACE OF FINISH

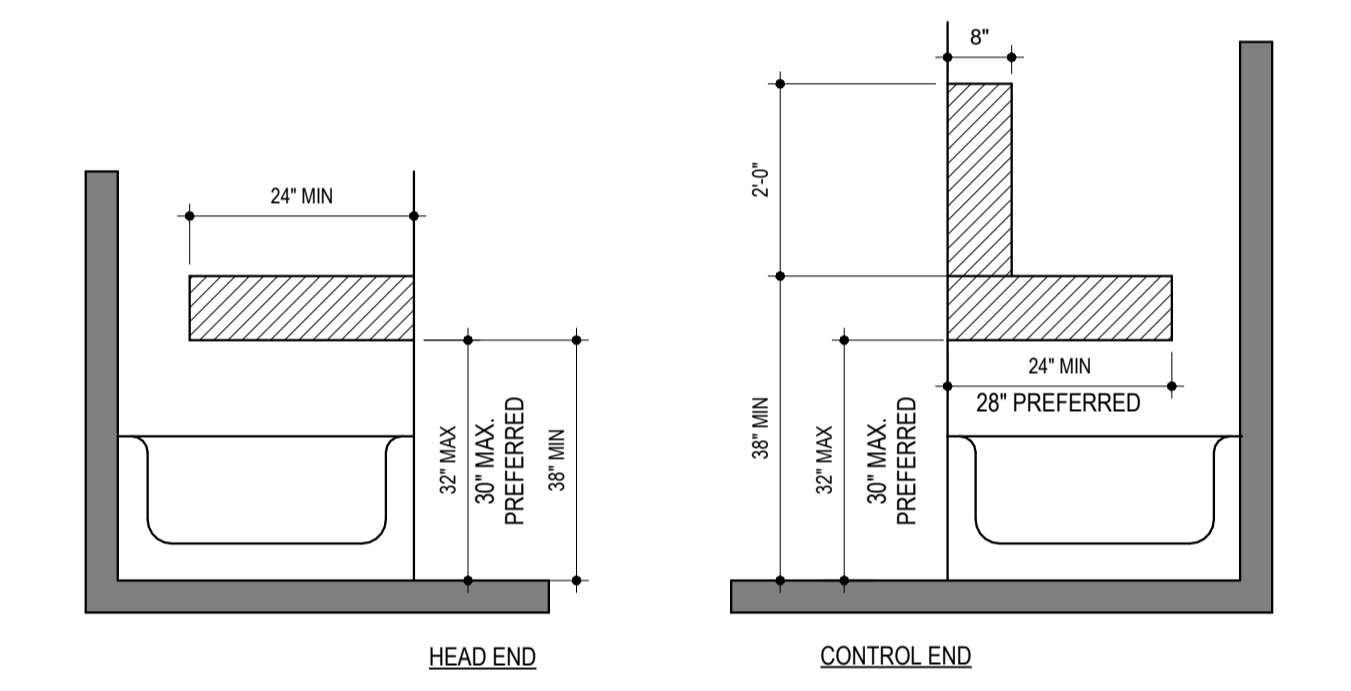
PROTRUDING OBJECTS



- NOTES:
- GRAB BARS ARE NOT REQUIRED TO BE INSTALLED IN TYPE A OR TYPE B UNITS WHEN REINFORCEMENT IS PROVIDED FOR THE FUTURE INSTALLATION OF GRAB BARS.
 - ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHERE A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE.
 - ALL DIMENSIONS ARE TO FACE OF FINISH.

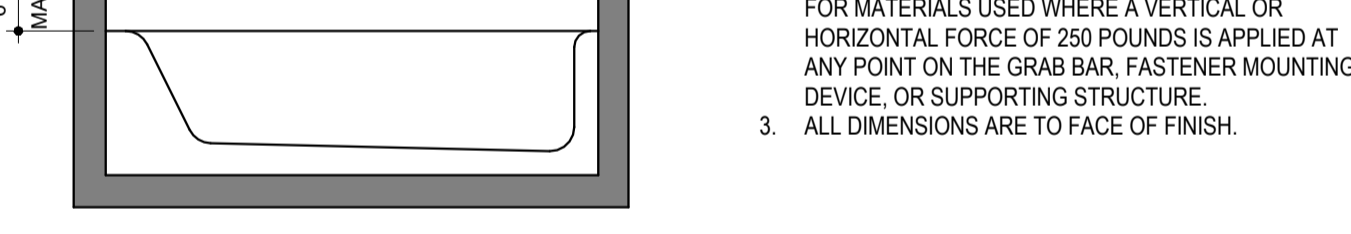
ANSI TYPE A/B-WC REINFORCEMENT

GRAB BAR REINFORCEMENT PER FHA DESIGN MANUAL, CHAPTER 6

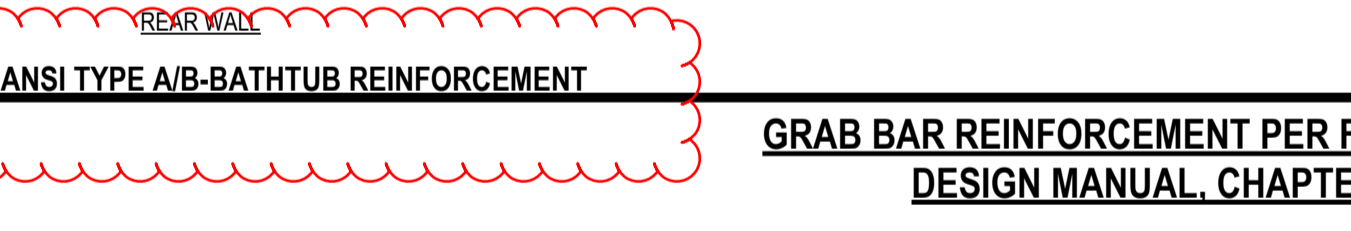


ANSI TYPE A/B-BATHBUT REINFORCEMENT

GRAB BAR REINFORCEMENT PER FHA DESIGN MANUAL, CHAPTER 6



- NOTES:
- GRAB BARS ARE NOT REQUIRED TO BE INSTALLED IN TYPE A OR TYPE B UNITS WHEN REINFORCEMENT IS PROVIDED FOR THE FUTURE INSTALLATION OF GRAB BARS.
 - ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHERE A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE.
 - ALL DIMENSIONS ARE TO FACE OF FINISH.



KNEE & TOE CLEARANCE

- WHERE SPACE BENEATH AN ELEMENT IS INCLUDED AS PART OF A CLEAR FLOOR SPACE OR A TURNING SPACE, THE SPACE SHALL PROVIDE KNEE AND TOE CLEARANCE
- KNEE CLEARANCE SHALL BE PERMITTED TO EXTEND 25" MAX. UNDER AN ELEMENT AT 9" ABOVE THE FLOOR. WHERE KNEE CLEARANCE IS REQUIRED BENEATH AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE KNEE CLEARANCE SHALL BE 11" MIN. IN DEPTH AT 9" ABOVE THE FLOOR, AND 8" MIN. IN DEPTH AT 27" ABOVE THE FLOOR. THE CLEARANCE IS PERMITTED TO BE REDUCED AT A RATE OF 1" FOR EACH 6" IN HEIGHT.
- TOE CLEARANCE IS PERMITTED TO EXTEND 25" MAX. UNDER AN ELEMENT, WHERE TOE CLEARANCE IS REQUIRED AS PART OF A CLEAR FLOOR SPACE. THE TOE CLEARANCE SHALL EXTEND 17" MIN. BENEATH THE ELEMENT AT A WIDTH OF 30" MIN.

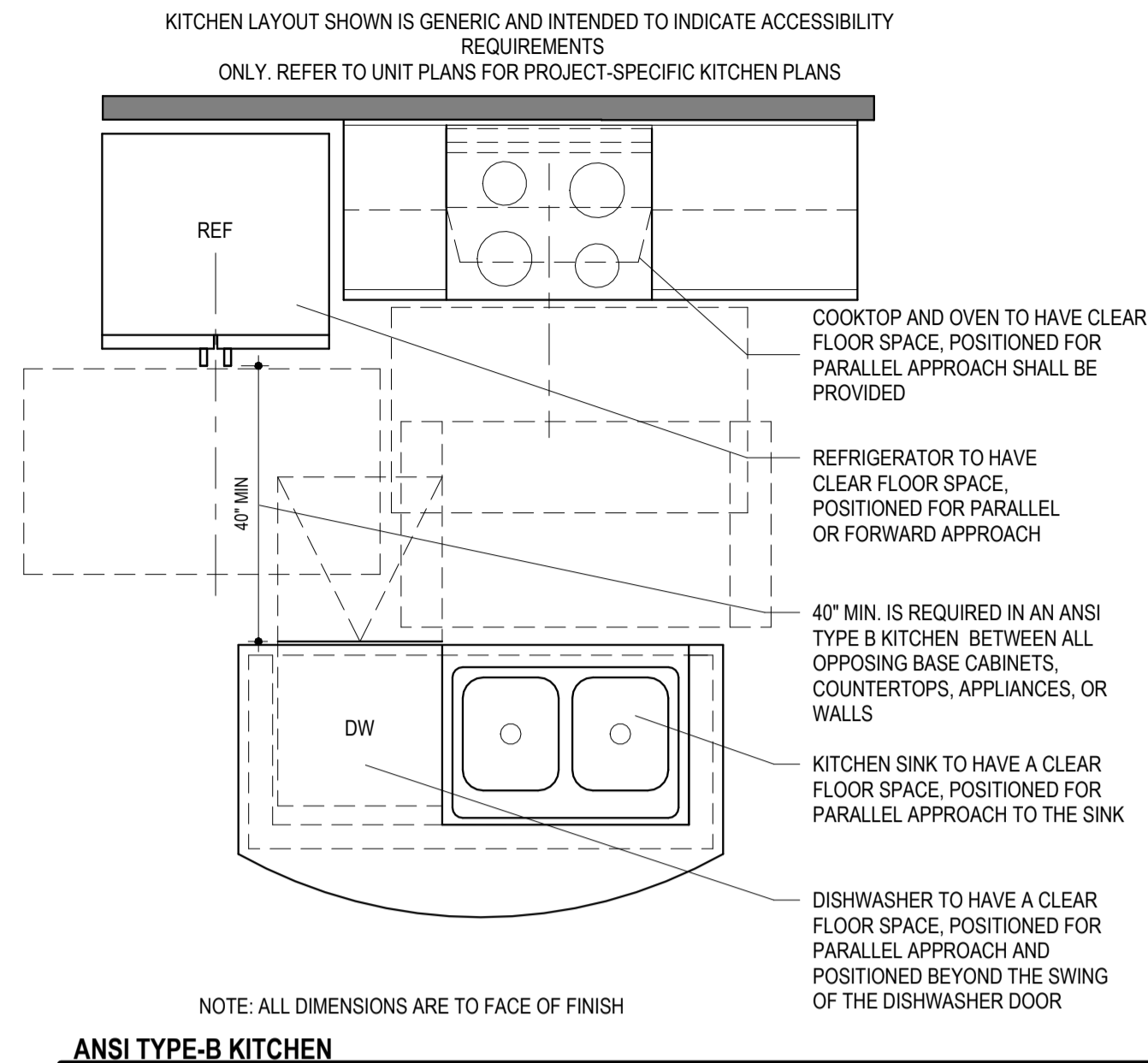
NOTE: ALL DIMENSIONS ARE TO FACE OF FINISH



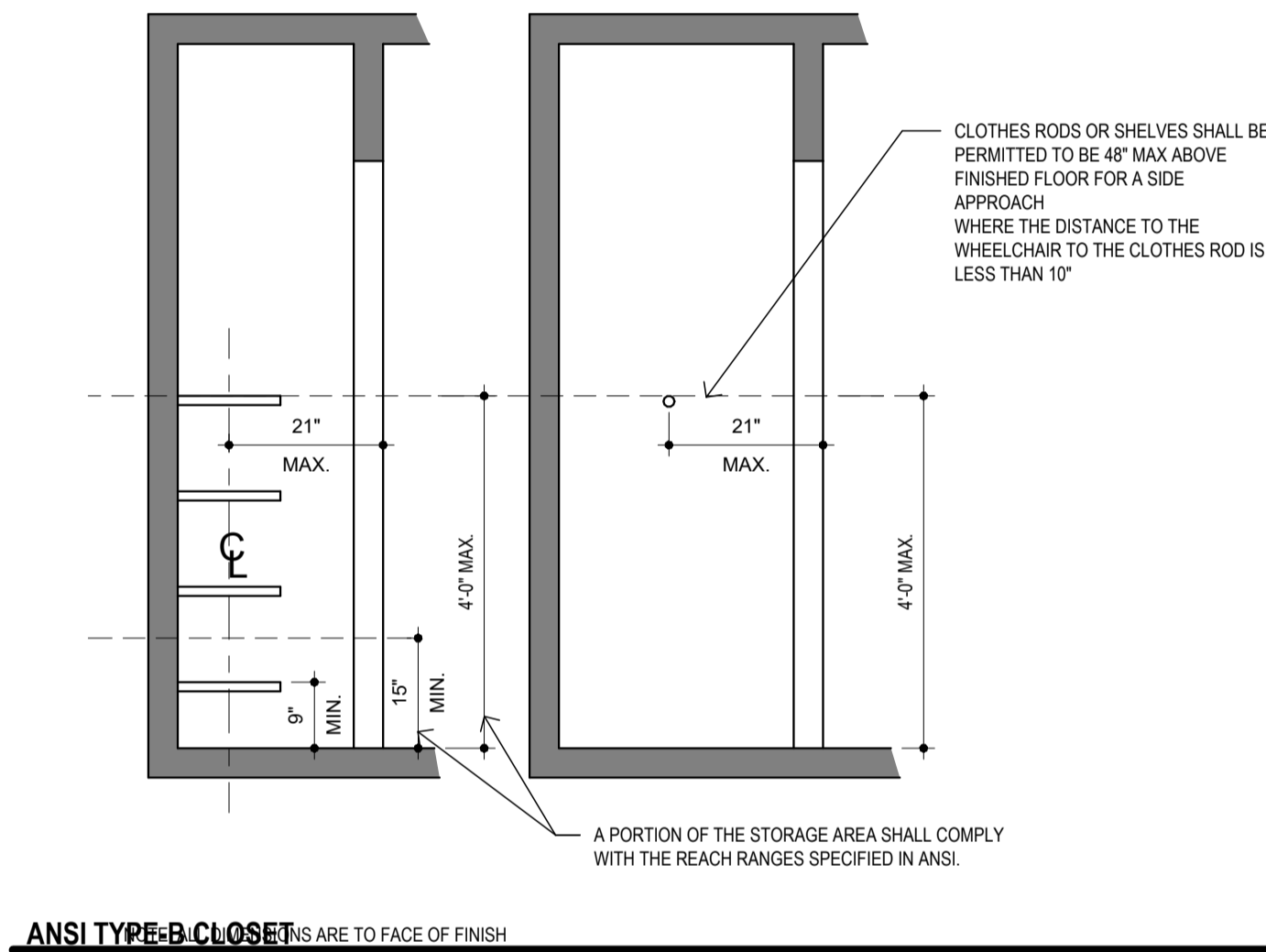
HAUSER
ARCHITECTS
3780 East 15th Street, Suite 201, Loveland, Colorado 80538
E-mail: info@hauserarchitects.com

APARTMENT CONVERSION
721 4TH STREET
FORT LUPTON, CO 80621
GENERAL ACCESSIBILITY DETAILS

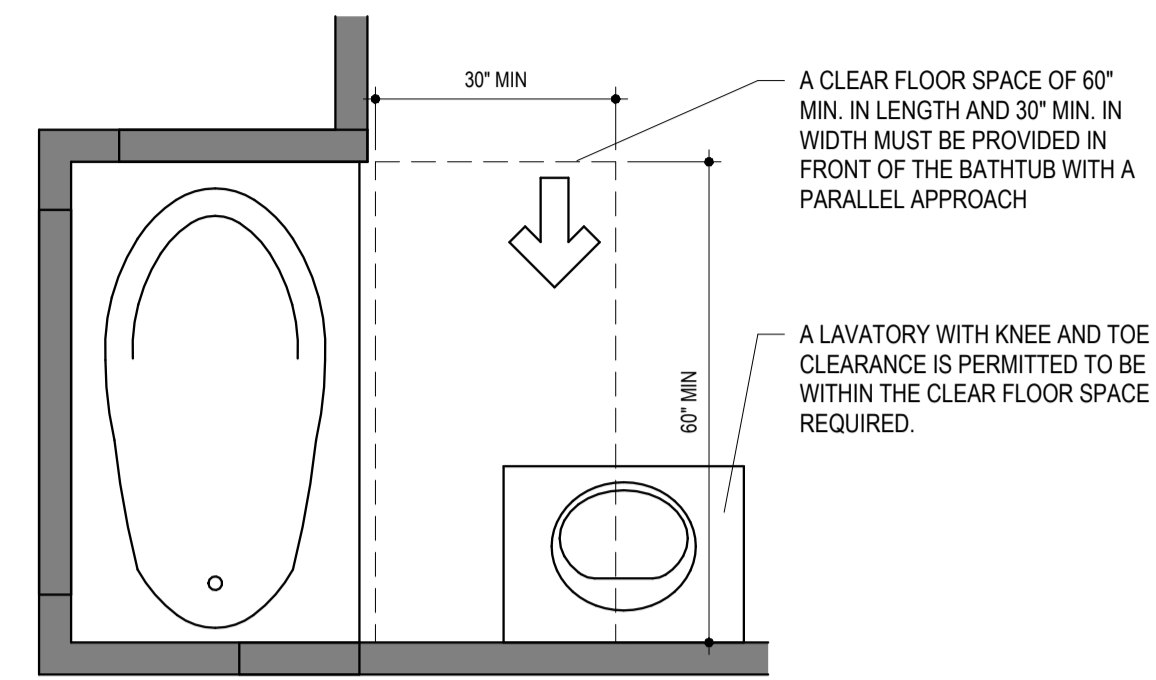
NO.	REVISIONS	DATE
1	PERMIT SET	2025.05.16



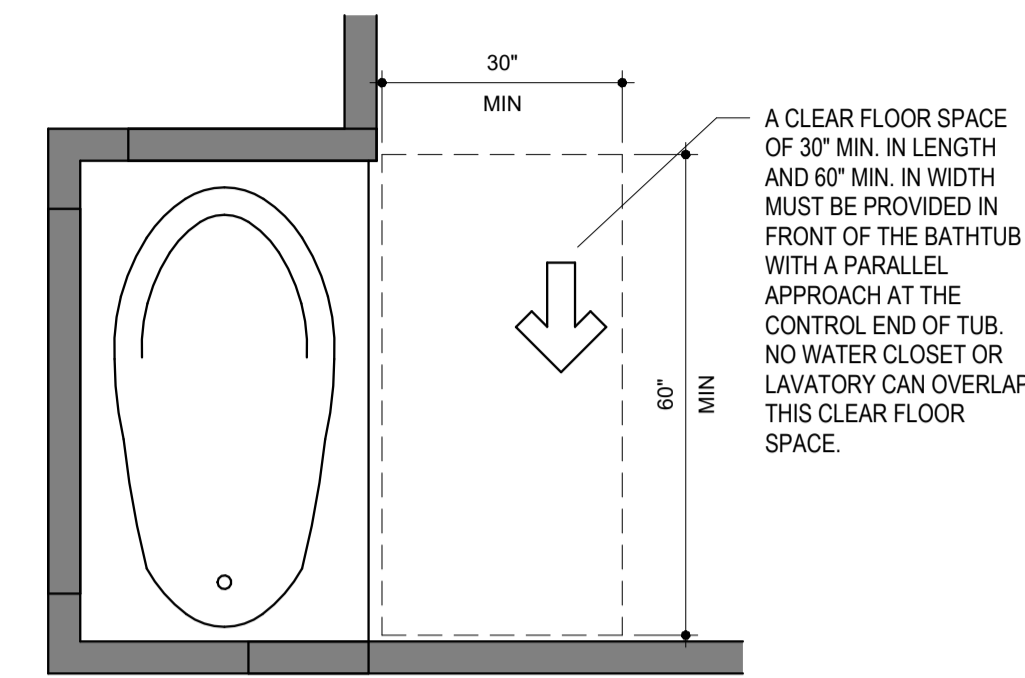
MINIMUM KITCHEN CLEARANCES



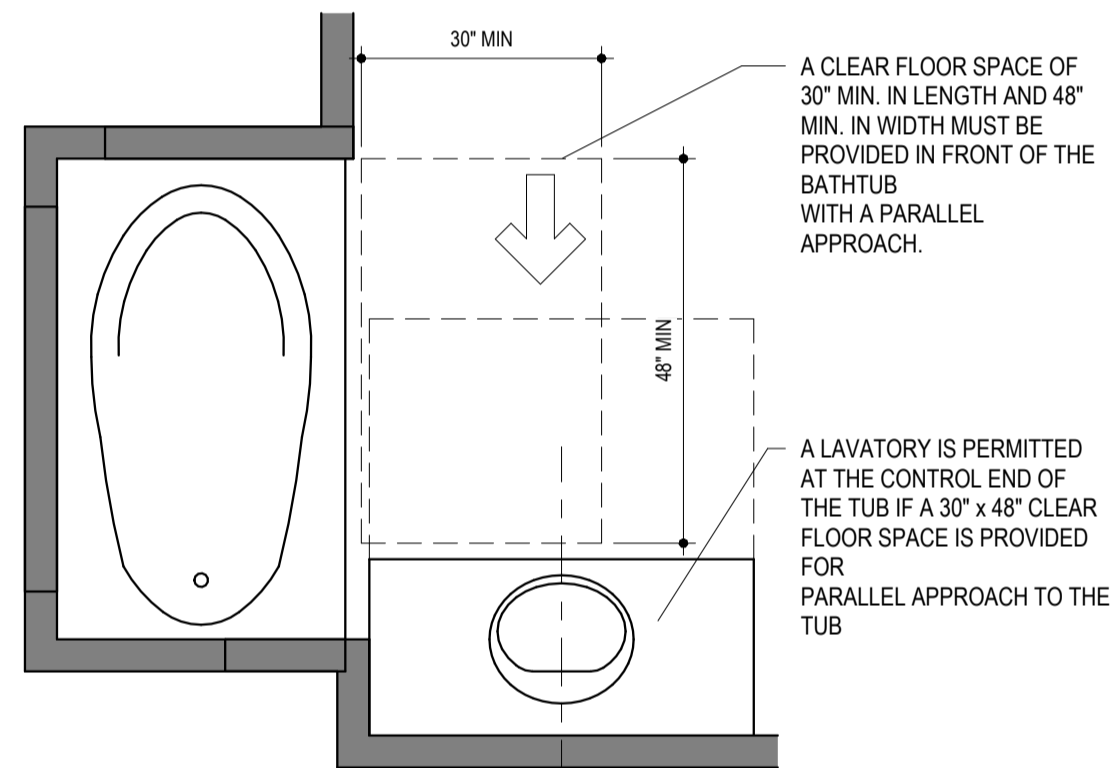
(SIDE REACH WHERE DOOR DOES NOT PROVIDE PASSAGE)



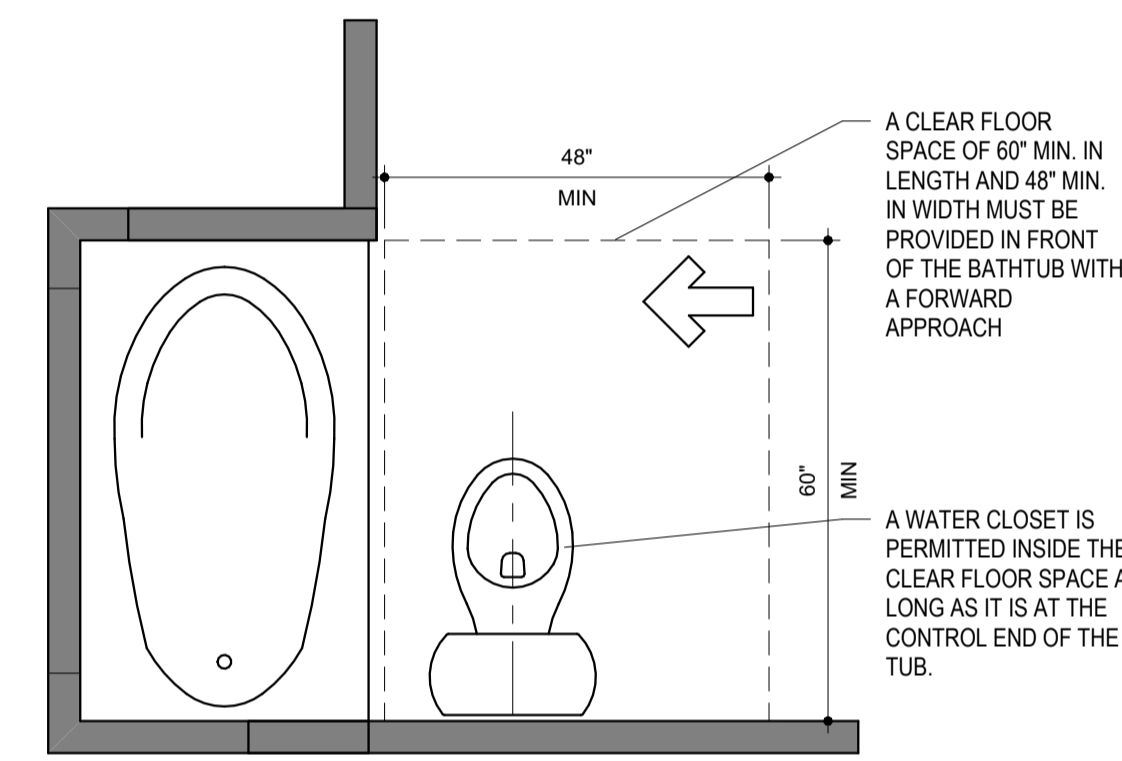
CLEAR FLOOR SPACE FOR PARALLEL APPROACH



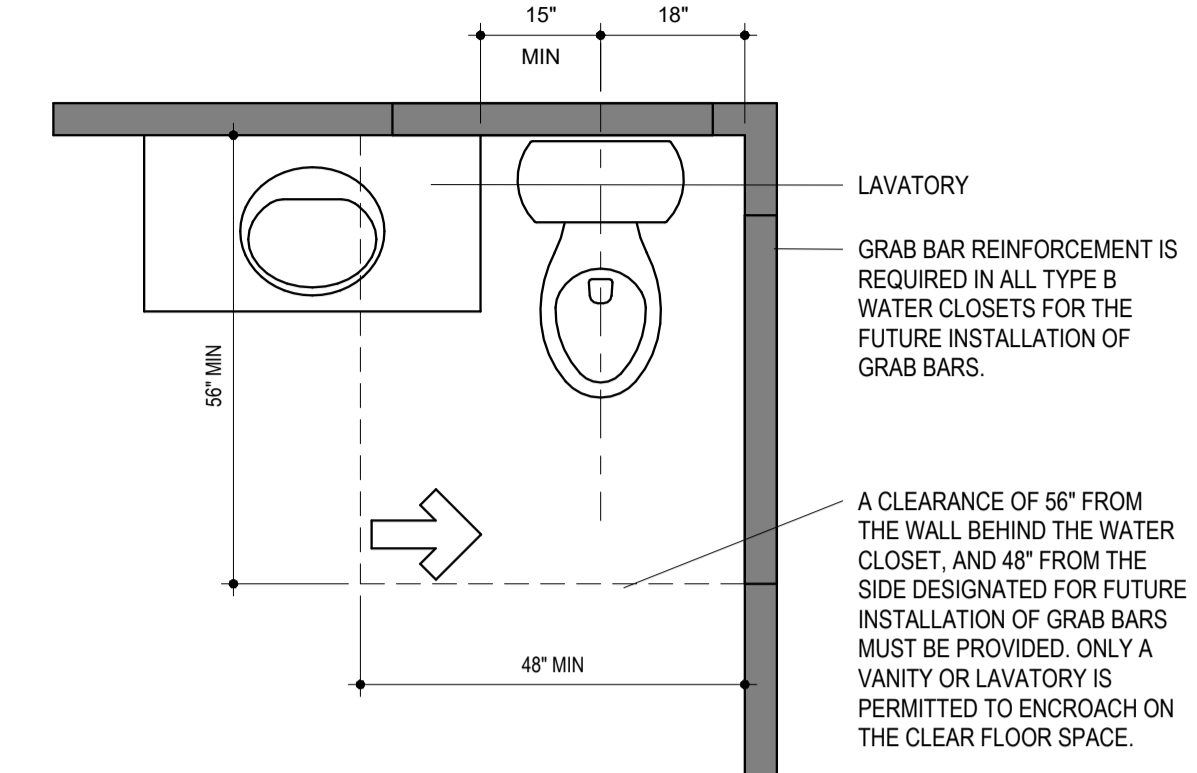
CLEAR FLOOR SPACE FOR PARALLEL APPROACH



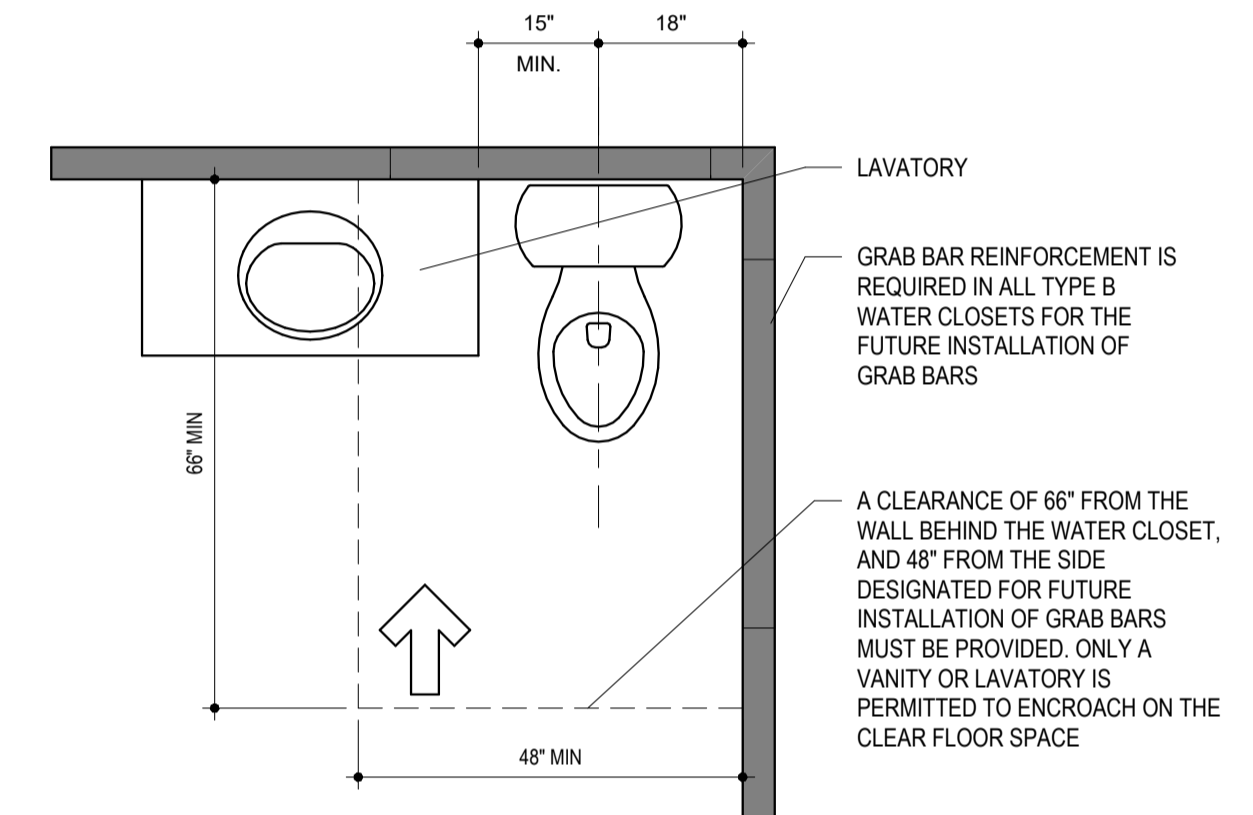
CLEAR FLOOR SPACE FOR PARALLEL APPROACH



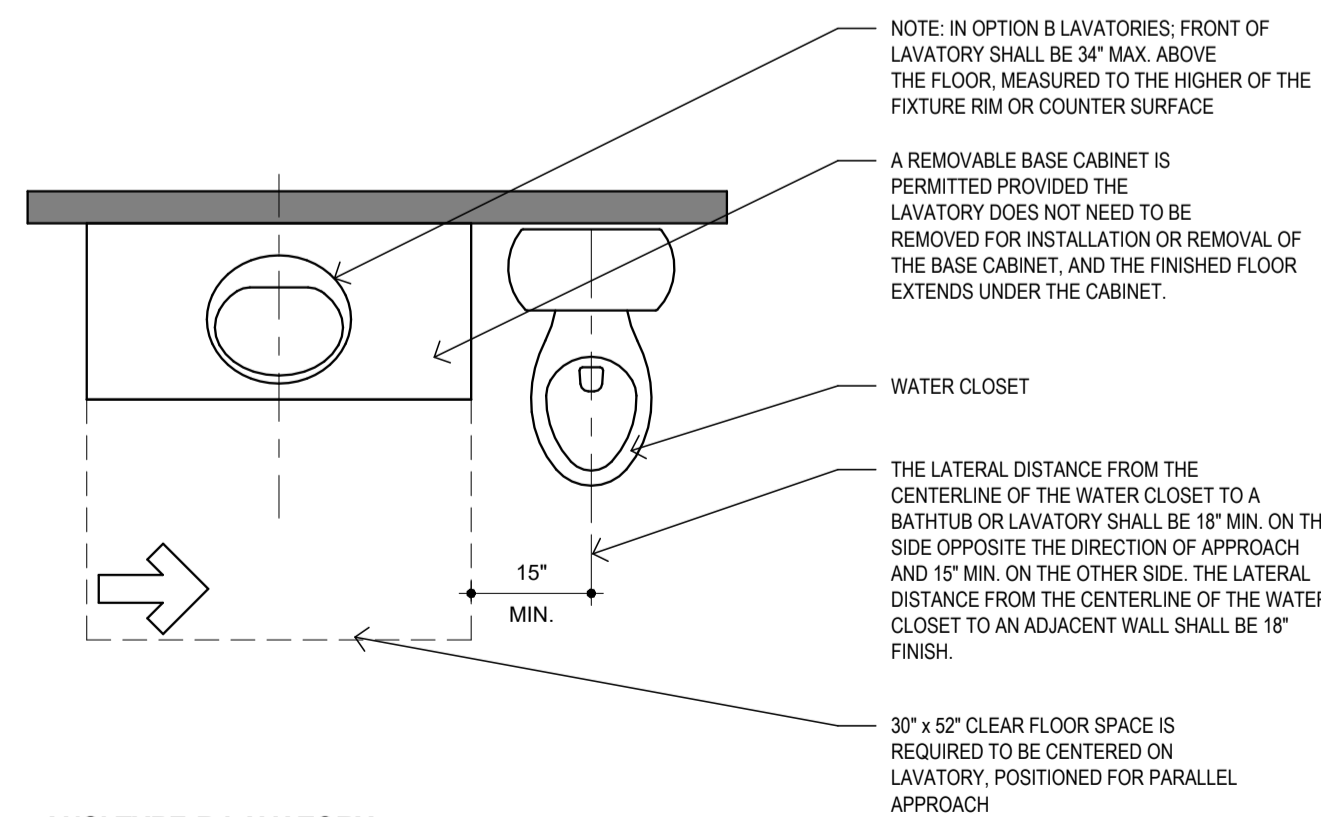
CLEAR FLOOR SPACE FOR FORWARD APPROACH



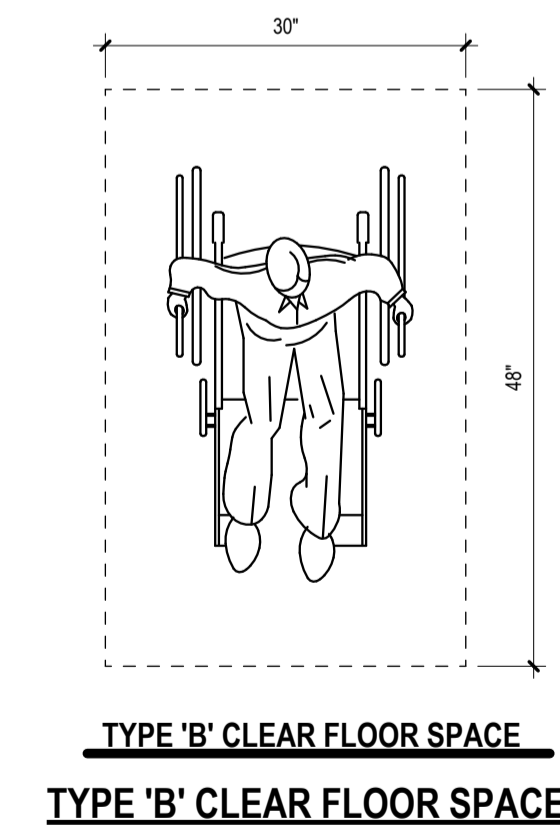
CLEAR FLOOR SPACE FOR PARALLEL APPROACH



CLEAR FLOOR SPACE FOR FORWARD APPROACH



CLEAR FLOOR SPACE FOR PARALLEL APPROACH



HAUSER
ARCHITECTS
3780 East 15th Street, Suite 201, Loveland, Colorado 80538
E-mail: info@hauserarchitectspc.com

APARTMENT CONVERSION
721 4TH STREET
FORT LUPTON, CO 80621
TYPE B ACCESSIBILITY DETAILS

REVISIONS	DATE	DESCRIPTION
1	2025.05.16	PERMIT SET

SHEET **A0.3**

5/16/2025 9:35:01 AM

Hauser Architects, P.C.

REVIEWED FOR CODE COMPLIANCE
These sheets have been reviewed for code compliance by the building department. Review of these plans does not constitute an approval of their use on any other project. Any necessary state or local code changes must be made during construction. Review of plans does not constitute a general compliance with the adopted code.

REVIEWED BY: *[Signature]*

GENERAL NOTES REVIEW

- ALL DIMENSIONS ARE TO ROUGH FRAME.
- VERIFY ALL HEADERS WITH THE SIZES PROVIDED BY THE STRUCTURAL ENGINEER - REFER TO WINDOW ELEVATION.
- ALL WINDOW SIZES ARE NOMINAL. VERIFY ACTUAL WINDOW R.O. DIMENSIONS WITH WINDOW MANUFACTURER. VERIFY INTERIOR AND EXTERIOR WINDOW FINISHES ALONG WITH GLAZING TYPE, GRIDS & OPERATION WITH OWNER.
- ONE EGRESS (ESCAPE) WINDOW REQUIRED IN EACH BEDROOM & THE SIZE SHALL MEET OR EXCEED CURRENT CODE MINIMUMS. FINISH SILL SHALL BE 44 INCHES MAXIMUM ABOVE FINISH FLOOR.
- TEMPERED GLASS IS REQUIRED WHEN GLAZING IS WITHIN 5 FOOT OF A TUB BOTTOM, WITHIN 2 FOOT OF A DOORWAY, WITHIN 18 INCHES OF FINISHED FLOOR, OVER 9 SQUARE FEET AND AT THE ADJACENT WALLS OF A STAIRWAY LANDING.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR COORDINATION.

FLOOR/CEILING PENETRATION NOTE:
 1. ALL PENETRATIONS THROUGH THE 1-HOUR FLOOR/CEILING SHALL BE SEALED WITH "HLTI FIRE STOP SYSTEMS, FS-ONE, INTUMESCENT FIRESTOP SEALANT" - REFER TO DETAILS ON SHEET A7.0

FRAMING NOTES:
BEDROOM CLOSET BLOCKING:
 PROVIDE 2x6 BLOCKING AT ALL BEDROOM CLOSETS. BLOCKING SHALL BE CENTERED @ 40° AND 80° ABOVE FINISH FLOOR.

EP = ELECTRICAL PANEL
 CENTER OF ELECTRICAL PANEL ROUGH OPENING SHALL BE 24" FROM INSIDE CORNER. R.O. WIDTH SHALL BE 14 5/8" WIDE. MAIN FLOOR TYPE B UNITS SHALL BE MOUNTED 48" MAXIMUM TO THE TOP AND 15" MINIMUM TO THE BOTTOM. PROVIDE CLEAR FLOOR SPACE FOR FORWARD APPROACH.

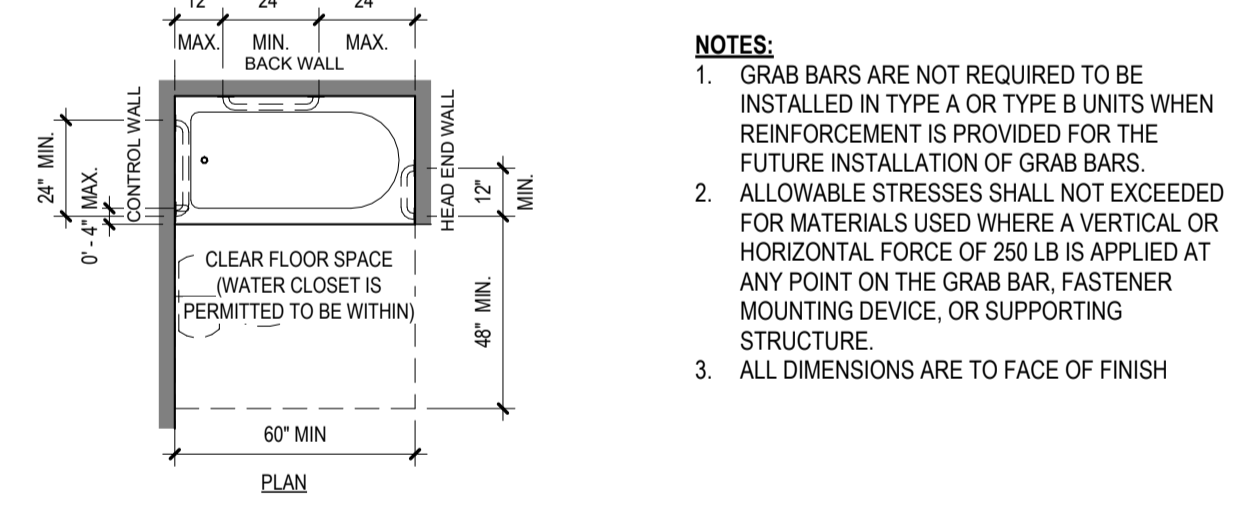
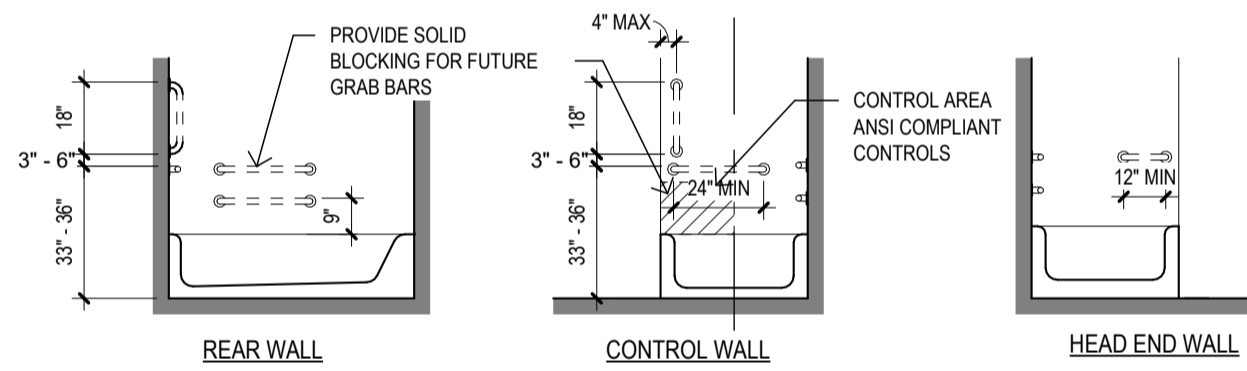
MC = MEDICINE CABINET
 MEDICINE CABINET - PROVIDE ONE MEDICINE CABINET NEXT TO EA. BATHROOM SINK. CENTER ROUGH OPENING ON SINK CABINET. REFER TO FLOOR PLAN FOR LOCATION.

INTERIOR FRAMING SEPARATION FROM RATED WALLS AND FLOOR/CEILING ASSEMBLY
 PROVIDE 1" GYP. GAP AT ALL INTERIOR WALLS PERPENDICULAR TO RATED WALLS

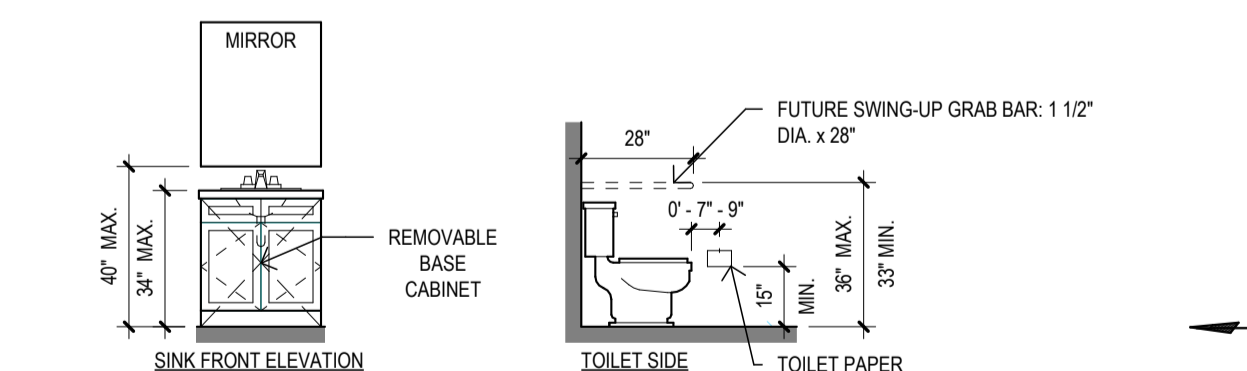
TOP OF CHASE WALLS SHALL BE 1-1/8" BELOW RESILIENT CHANNELS FOR CEILING GYP.
 COORDINATE GAP LOCATIONS WITH GENERAL CONTRACTOR

ANSI, TYPE 'B' UNIT GENERAL NOTES:

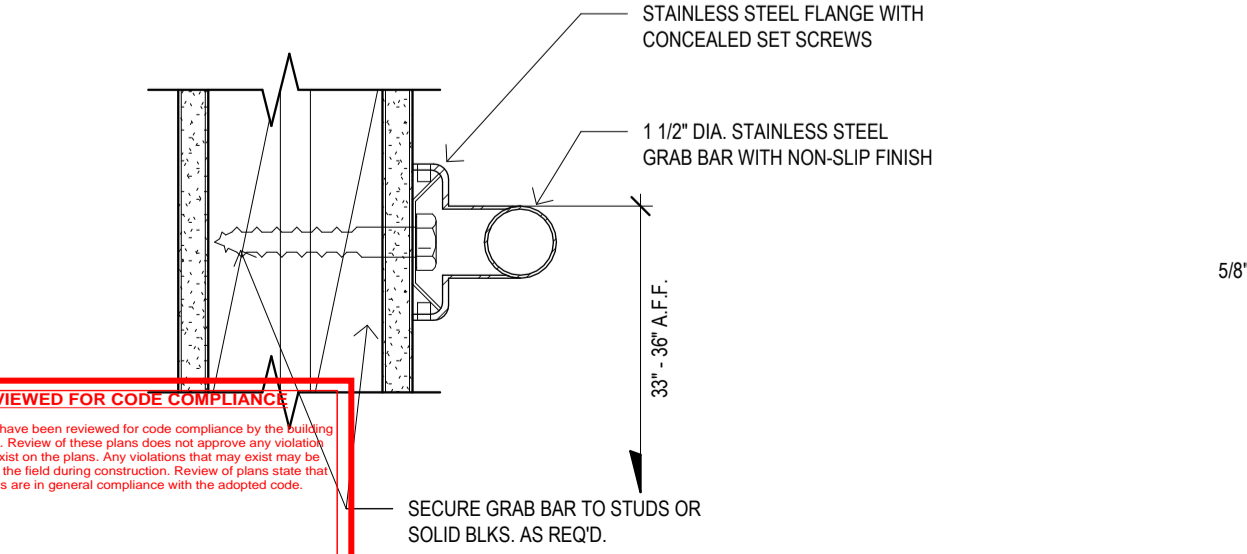
- ALL ACCESSIBLE ROUTE WALKING SURFACES SHALL COMPLY WITH ANSI STANDARDS.
- DOOR THRESHOLDS, IF APPLICABLE, SHALL BE BEVELED WITH A MAXIMUM SLOPE OF 1:2 AND A MAXIMUM HEIGHT OF 1/2 INCH. THRESHOLDS @ EXTERIOR SLIDING DOORS SHALL BE PERMITTED TO BE 3/4 INCH MAX. IN HEIGHT & BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- A CLEAR FLOOR SPACE OF 30" x 52" (CENTERED BY EACH APPLIANCE) SHALL BE PROVIDED FOR LAUNDRY APPLIANCES, KITCHEN APPLIANCES INCLUDING DISHWASHER, STOVE/OVEN, REFRIGERATOR/FREEZER AND SINK.
- PROVIDE SOLID BLOCKING FOR FUTURE GRAB BARS AT TOILETS, BATHTUBS, AND SHOWER COMPARTMENTS.
- ALL DOORS SHALL COMPLY WITH ANSI STANDARDS. DOORWAYS SHALL HAVE A CLEAR OPENING WIDTH OF 31 3/4 INCHES MINIMUM. CLEAR OPENING WIDTH OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES.
- ALL OPERABLE PARTS SHALL BE ANSI COMPLIANT. THIS INCLUDES LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS.
- ALL DOOR HARDWARE SHALL BE ANSI COMPLIANT.
- ALL APPLIANCES SHALL BE ANSI COMPLIANT. THIS INCLUDES LAUNDRY EQUIPMENT, DISHWASHER, REFRIGERATOR & RANGE. GENERAL CONTRACTOR TO VERIFY KITCHEN APPLIANCE SIZES FIT WITH A 34" COUNTERTOP HEIGHT.



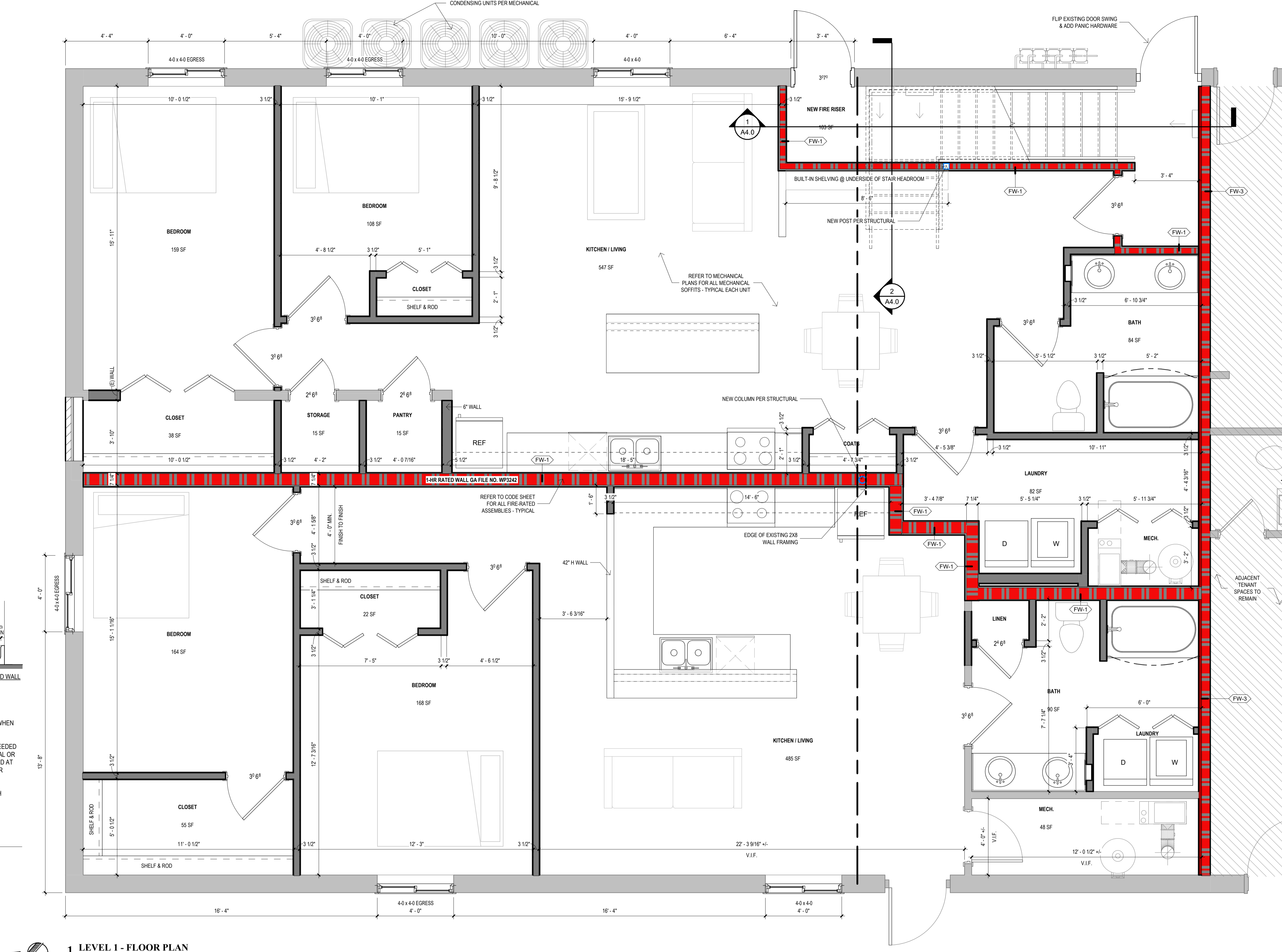
TYPE B - BATHTUB - ANSI COMPLIANT



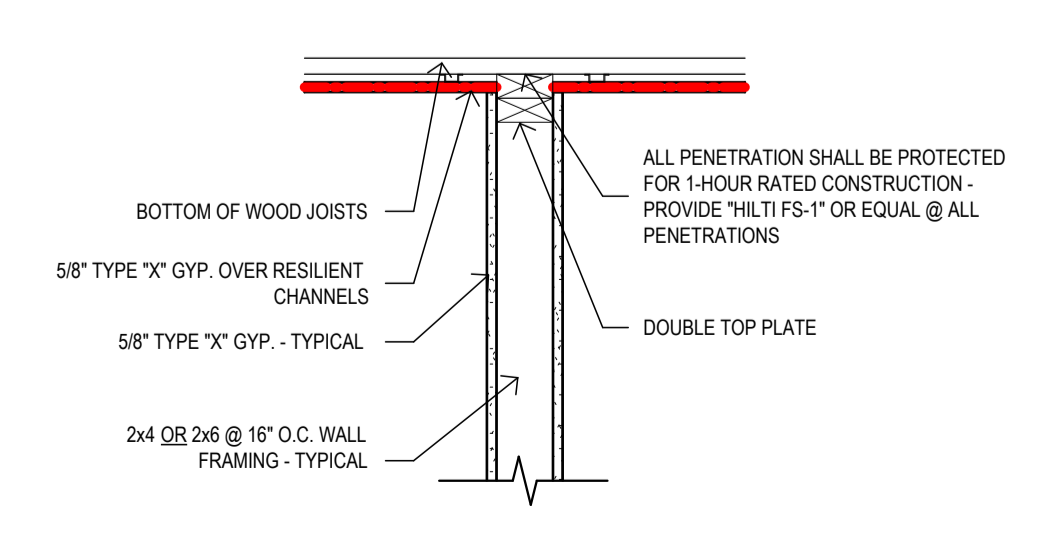
TYPE B - TOILET AND SINK - ANSI COMPLIANT



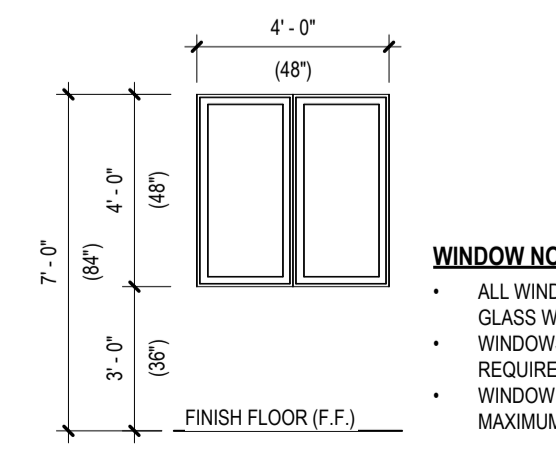
TYPE B - SECTION AT TYPICAL GRAB BAR



LEVEL 1 - FLOOR PLAN
 3/8" = 1'-0"



TYPICAL INTERIOR WALL DETAIL



TYPICAL WINDOW ELEVATION

ANSI COMPLIANT BATH ROOM GENERAL NOTES:

- ALL ACCESSIBLE TOILET ROOM ACCESSORIES MUST BE INSTALLED IN COMPLIANCE WITH THE ANSI AND LOCAL CODES FOR MOUNTING HEIGHTS AND LOCATIONS.
- PROVIDE AN ANSI APPROVED SINK WITH LEVER HANDLE FAUCET. FRONT OF LAVATORY SHALL BE 34" MAX. A.F.F. & PROVIDE ANSI APPROVED KNEE CLEARANCE. WATER SUPPLY AND DRAIN PIPES TO BE INSULATED/PROTECTED.
- TOILET PAPER DISPENSER TO BE MOUNTED ON SIDE WALL & SHALL BE 7"-9" IN FRONT OF W.C. - OUTLET SHALL BE 15"-48" A.F.F. - T.P. DISPENSER TO BE CONTINUOUS FLOW.
- PROVIDE ANSI APPROVED WATER CLOSET.
- FLUSH CONTROL ON WIDE SIDE OF TOILET - CONTROLS TO BE BETWEEN 48" & 15" A.F.F.
- MIRROR TO BE MOUNTED WITH BOTTOM EDGE @ 40" A.F.F. MAX.
- PROVIDE SOLID BLOCKING WITHIN WALLS FOR FUTURE GRAB BARS. GRAB BARS TO BE 1-1/2" DIA. W/ 1-1/2" SPACE BETWEEN WALL AND MOUNTED @ 33" TO 36" A.F.F. (OR AS INDICATED ON DETAILS)

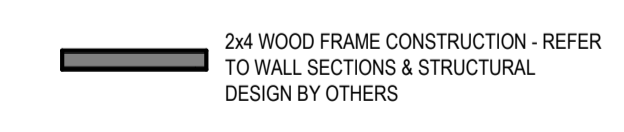
GENERAL APT DOOR NOTES

- ALL ENTRY DOORS SHALL BE 20 MINUTE RATED WITH SELF-CLOSING HARDWARE AND SMOKE SEALS.
- ALL DOORS ON FIRST FLOOR SHALL ACCOMMODATE ACCESSIBLE HARDWARE AS REQUIRED BY TENANT.
- ALL DOORS SHALL BE INDIVIDUALLY AND BUILDER KEYPED.

FUTURE GRAB BAR CONSTRUCTION NOTES:

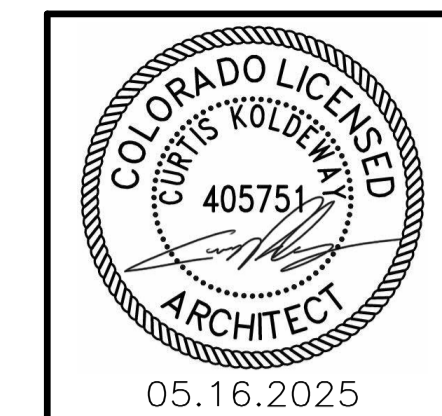
- GRAB BAR SHALL NOT ROTATE WITHIN FITTING.
- BENDING STRESS IN GRAB BAR INDUCED BY THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 LB. SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR.
- SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 LB. (112N) SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS OF THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE GRAB BAR OR SEAT AND ITS MOUNTING RACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
- SHEAR FORCE INDUCED IN A FASTENER OF MOUNTING DEVICE FOR THE APPLICATION OF 250 LB. (112N) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OF MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
- TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 LB. (112N) PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 LB (112N) SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND THE SUPPORTING STRUCTURE.

WALL LEGEND



GENERAL ROOM FINISH NOTES:

- VERIFY ALL MATERIALS, FINISHES, AND COLORS WITH OWNER.
- ALL INTERIOR GYP. FINISH TO MATCH EXISTING ADJACENT FINISH. VERIFY EXISTING WALL THICKNESS @ ALL INFILLS. PRIME WALLS. BECCOBE TEXTURE.
- ALL NEW GYP. SOFFITS ARE 5/8" GYPSUM BOARD.
- REPAIR OR REPLACE EXISTING DAMAGED GYP. BOARD, AS NECESSARY, AND FINISH TO MATCH ADJACENT SURFACE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY FLOOR PREP REQUIRED ON THE EXISTING SLAB IN ORDER TO RECEIVE NEW FLOOR FINISH.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FLOOR COVERINGS, CEILINGS, AND WALL FINISHES THAT WILL REMAIN IN SPACE (INCLUDING FINAL CLEANING) OF THE EXISTING BUILDING WHERE NEW WORK OCCURS.



05.16.2025

HAUSER
 ARCHITECTS
 3780 East 15th Street, Suite 201, Loveland, Colorado 80538
 E-mail: info@hauserarchitects.com

APARTMENT CONVERSION
 721 4TH STREET
 FORT LUPTON, CO 80621
LEVEL 1 - PROPOSED FLOOR PLAN

NO.	REVISIONS	DATE
1	PERMIT SET	2025.05.16

SHEET
A1.3

5/16/2025 9:35:03 AM

Hauser Architects, P.C.

REVIEWED FOR CODE COMPLIANCE
 These drawings have been reviewed for code compliance by the undersigned professional engineer. The engineer does not approve any portions of these drawings that are not shown on the drawings. Any necessary changes to these drawings shall be made on a separate sheet and approved by the engineer. This review is general compliance with the adopted code.



05.16.2025

HAUSER
ARCHITECTS
3780 East 15th Street, Suite 201, Loveland, Colorado 80538
E-mail: info@hauserarchitects.com

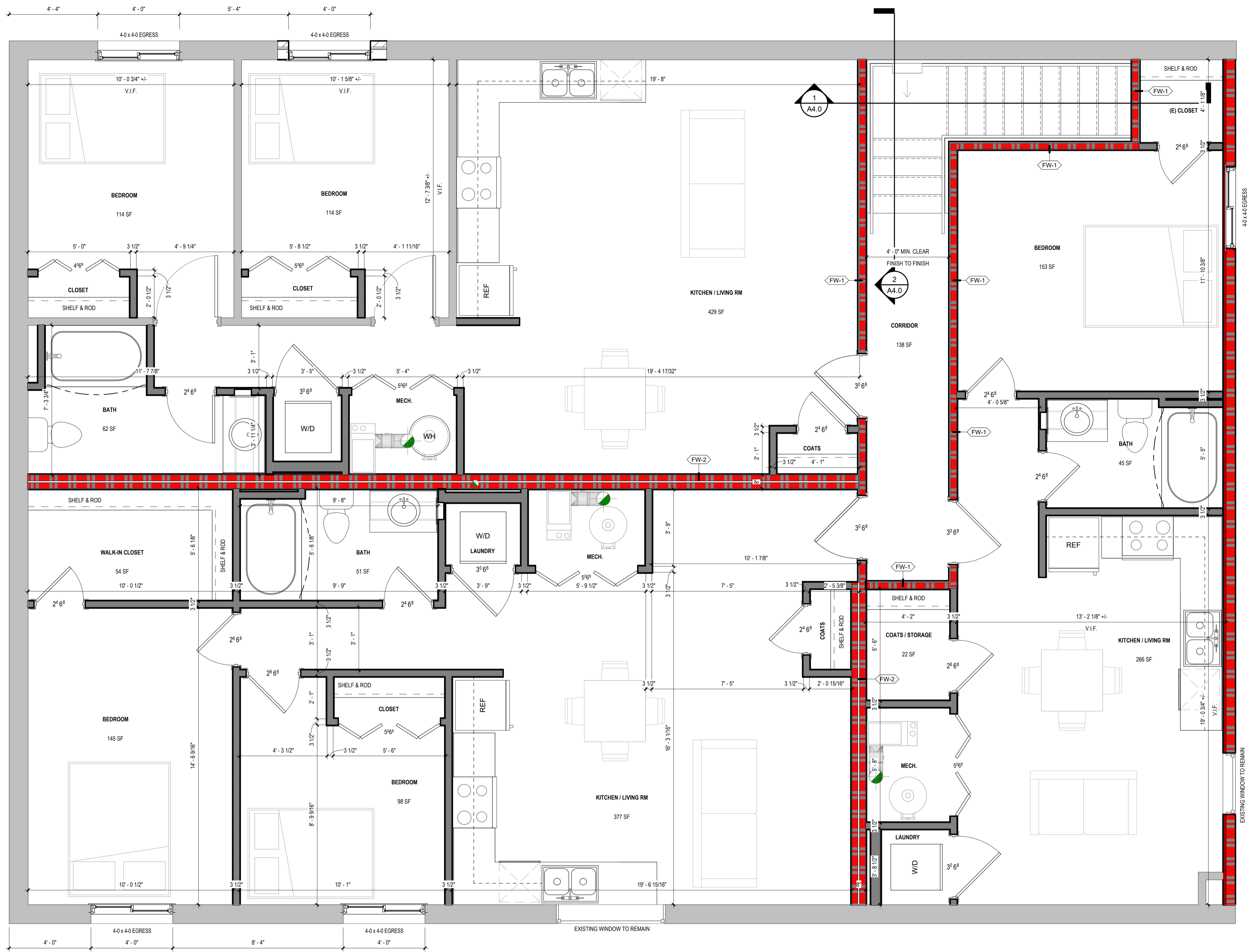
APARTMENT CONVERSION

721 4TH STREET
FORT LUPTON, CO 80621

LEVEL 2 - PROPOSED FLOOR PLAN

NO.	REVISIONS	DATE
1	PERMIT SET	2025.05.16

SHEET
A1.4



1 LEVEL 2 - FLOOR PLAN
3/8" = 1'-0"

WALL LEGEND

- 2x4 WOOD FRAME CONSTRUCTION - REFER TO WALL SECTIONS & STRUCTURAL DESIGN BY OTHERS
- 1 HOUR RATED WALL
2x4 OR 2x6 WOOD WALLS (1-HR FIRE RATED) - REFER TO RATED WALL ASSEMBLIES DETAILS FOR CONSTRUCTION DETAILS

5/16/2025 9:35:05 AM

Hauser Architects, P.C.

REVIEWED FOR CODE COMPLIANCE
These plans have been reviewed for code compliance by the building department. Review of these plans does not approve any violation that may exist on the plans. Any violations that do exist may be noted on the field during construction. Review of plans does not constitute a general compliance with the adopted code.

REVIEWED BY: *[Signature]*

System No. C-AJ-1184

ANSI/UL1479 (ASTM E814)	CANULC S115
F Rating — 3 Hr	F Rating — 3 Hr
T Rating — 0 Hr	FT Rating — 0 Hr
	FH Rating — 3 Hr
	FTH Rating — 0 Hr

SECTION A-A

- Floor or Wall Assembly — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Floor may also be constructed of any min 7-1/2 in. (190 mm) thick UL Classified hollow core Precast Concrete Units*. Max diam of opening is 14 in. (356 mm) when concrete floor or wall is used and max 7 in. (178 mm) when precast concrete units are used. See Concrete Blocks (CAZT) and Precast Concrete Units (CFTV) categories in the Fire Resistance Directory for names of manufacturers.
- Through-Penetrants — One metallic pipe, conduit or tubing to be installed either concentrically or eccentrically within the firestop system. The annular space between pipe, conduit or tubing and periphery of opening shall be min 0 in. (point contact) to max 3-1/4 in. (83 mm). Pipe, conduit or tubing to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes, conduits or tubing may be used:
 - A. Steel Pipe — Nom 10 in. (254 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
 - B. Iron Pipe — Nom 10 in. (254 mm) diam (or smaller) cast or ductile iron pipe.
 - C. Conduit — Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing or steel conduit.
 - D. Copper Tubing — Nom 4 in. (102 mm) diam (or smaller) Type L (or heavier) copper tubing.
 - E. Copper Pipe — Nom 4 in. (102 mm) diam (or smaller) regular (or heavier) copper pipe.
- Forms — (Not Shown, Optional) — Used as a form to prevent leakage of fill material during installation. Forms to be rigid sheet material, cut to fit the contour of the penetrating item and positioned as required to accommodate the required thickness of fill material. Forms to be removed after fill material has cured. Additional forming material may be used concrete block wall is penetrated. A min 1/2 in. (13 mm) thickness of min 4 pcf (64 kg/m³) mineral wool batt insulation is firmly packed into the annulus as a permanent form and recessed from both surfaces of the wall as required to accommodate the required thickness of fill material.
- Fill, Void or Cavity Material* — Sealant — Min 1 in. (25 mm) thickness of fill material applied within the annulus. At the point contact location between through penetrant and concrete, a min 1/2 in. (13 mm) diam bead of fill material shall be applied at the concrete through penetrant interface. When precast concrete units are used, the fill material shall be installed within annular space, flush with lower surface of floor. When concrete block wall is penetrated, a min 1 in. (25 mm) thickness of fill material shall be applied within the annulus flush with both surfaces of wall. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS605, FS-ONE Sealant or FS-ONE MAX Intumescent Sealant

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

HILTI Firestop Systems

Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc. January 07, 2015

System No. C-AJ-1278

ANSI/UL1479 (ASTM E814)	CANULC S115
F Rating - 3 Hr	F Rating - 3 Hr
T Rating - 0 Hr	FT Rating - 0 Hr
	FH Rating - 3 Hr
	FTH Rating - 0 Hr

SECTION A-A

- Floor or Wall assembly — Minimum 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Maximum diameter of opening is 30-7/8 in. (784 mm). See Concrete Blocks (CAZT) category in the Fire Resistance Directory for names of manufacturers.
- Through-Penetrant — One metallic pipe or conduit to be installed either concentrically or eccentrically within the firestop system. The annular space between pipe or conduit and periphery of opening shall be minimum 0 in. to maximum 7/8 in. (22 mm). Pipe or conduit to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes or conduits may be used:
 - A. Steel Pipe — Nominally 30 in. (762 mm) diameter (or smaller) Schedule 10 (or heavier) steel pipe.
 - B. Copper Pipe — Nominally 6 in. (152 mm) diameter (or smaller) Regular (or heavier) copper pipe.
 - C. Copper Tubing — Nominally 6 in. (152 mm) diameter (or smaller) Type L (or heavier) copper tubing.
 - D. Conduit — Nominally 6 in. (152 mm) diameter (or smaller) steel electrical metallic tubing (EMT).
 - E. Conduit — Nominally 4 in. (102 mm) diameter (or smaller) steel electrical metallic tubing (EMT).
- Fill, Void or Cavity Material* — Sealant — Minimum 1/2 in. (13 mm) thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall. At the point contact location between pipe and concrete, a minimum 1/4 in. (6 mm) diameter bead of fill material shall be applied at the concrete/pipe interface on the top surface of floor and on both surfaces of wall. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-ONE Sealant or FS-ONE MAX Intumescent Sealant

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

HILTI Firestop Systems

Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc. January 07, 2015

System No. C-AJ-1534

ANSI/UL1479 (ASTM E814)	CANULC S115
F Rating — 2Hr	F Rating — 2 Hr
T Rating — 0 Hr	FT Ratings — 0 Hr
	FH Rating — 2 Hr
	FTH Rating — 0 Hr

SECTION A-A

- Floor or Wall Assembly — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is 10 in. (254 mm). See Concrete Blocks (CAZT) category in Fire Resistance Directory for names of manufacturers.
- Through Penetrant — One metallic pipe, conduit or tubing to be installed concentrically or eccentrically within opening. The annular space between the through penetrant and the periphery of opening shall be min 0 in. (point contact) to max 1-7/8 in. (48 mm). Through penetrant to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of through penetrants may be used:
 - A. Steel Pipe — Nom 8 in. (203 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
 - B. Iron Pipe — Nom 8 in. (203 mm) diam (or smaller) cast or ductile iron pipe.
 - C. Copper Tubing — Nom 4 in. (102 mm) diam (or smaller) Type L (or heavier) copper tube.
 - D. Copper Pipe — Nom 4 in. (102 mm) diam (or smaller) Regular (or heavier) copper pipe.
 - E. Conduit — Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing or nom 6 in. (152 mm) rigid steel conduit.
- Fill, Void or Cavity Material* - Sealant — Min 1/2 in. (13 mm) thickness of fill material within the annulus, flush with bottom surface of floor or with both surfaces of wall. Min 1/2 in. (13 mm) bead of fill material applied at the concrete/through penetrant interface on bottom surface of floor or both surfaces of wall. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-ONE Sealant or FS-ONE MAX Intumescent Sealant.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

HILTI Firestop Systems

Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc. January 08, 2015

System No. C-AJ-2095

F Rating - 3 Hr
T Rating - 2-1/2 Hr

SECTION A-A

- Floor or Wall Assembly — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is 5 in. (127 mm). See Concrete Blocks (CAZT) category in the Fire Resistance Directory for names of manufacturers.
- Nonmetallic Pipe — Nom 4 in. (102 mm) diam (or smaller) Schedule 40 solid-core polyvinyl chloride (PVC) or SDR 17 chlorinated polyvinyl chloride (CPVC) pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems. One pipe to be installed either concentrically or eccentrically within the firestop system. The annular space shall be min 0 in. (point contact) to max 1/2 in. (13 mm). Pipe to be rigidly supported on both sides of floor or wall assembly.
- Steel Collars — Collar fabricated from coils of precut min 0.017 in. (0.43 mm) thick (No. 28 MSG) galv steel available from the sealant manufacturer. Collar shall be nom 1-3/4 in. (44 mm) deep with 1 in. (25 mm) wide by 2 in. (51 mm) long anchors tabs on 2 in. (51 mm) center securement to floor or wall assembly. The opposite side incorporates retainer tabs, 1/2 in. (13 mm) wide by 3/16 in. (5 mm) long, prevent bow to the pipe surface. Collar shall be wrapped around pipe maintaining a 1 in. (25 mm) distance between pipe and collar, and overlapping min 1 in (mm) at seam. Collar secured to concrete slab with 1/4 in. (6 mm) diam by 1-3/4 in. (44 mm) long steel expansion type masonry fasteners or 1 in. (3.7 mm) diam by 1-1/4 in. (32 mm) long powder actuated fasteners utilizing a 1-7/16 in. (36.5 mm) diam by 1/16 in. (1.6 mm) thick steel washer. In floor assemblies, one collar to be used at the bottom of the concrete floor only. In wall assemblies, a collar is used on both surface. After sealant is installed (Item 4), the collar shall be compressed around the pipe using a 1/2 in. (13 mm) wide by 0.028 in. (0.7 mm) thick steel band clamp fastened at the collar mid-height.
- Fill, Void or Cavity Material* — Sealant — Min 1-1/2 in. (38 mm) thickness of fill material applied within the annulus, flush with bottom surface of floor or with both surfaces of wall and applied to completely fill the steel collar. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS611A or FS-ONE Sealant or FS-ONE MAX Intumescent Sealant

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

HILTI Firestop Systems

Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc. January 09, 2015

System No. C-AJ-2168

F Rating — 2 and 3 Hr (See Item 2)
T Rating — 0 Hr

SECTION A-A

- Floor or Wall Assembly — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is 5 in. (127 mm). See Concrete Blocks (CAZT) category in the Fire Resistance Directory for names of manufacturers.
- Nonmetallic Pipe — Nom 3 in. (76 mm) diam (or smaller) Schedule 40 polyvinyl chloride (PVC) pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems. One pipe to be installed either concentrically or eccentrically within the firestop system. The annular space shall be min 1/2 in. (13 mm) to a max 1 in. (25 mm). Pipe to be rigidly supported on both sides of floor or wall assembly. When non pipe diam exceeds 2 in. (51 mm), the F Rating of the firestop system is 2 hr when the FS-ONE MAX sealant (Item 3) is used, and 3 hr when the FS-ONE sealant (Item 3) is used.
- Fill, Void or Cavity Material* — Sealant — Min 4 in. (102 mm) thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-ONE Sealant or FS-ONE MAX Intumescent Sealant

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

HILTI Firestop Systems

Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc. December 15, 2015

System No. C-BJ-2041

F Rating — 3 Hr
T Rating — 3 Hr

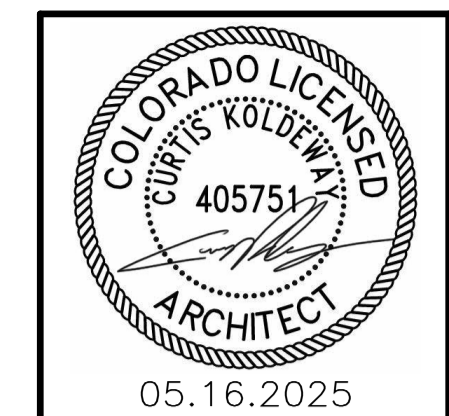
SECTION A-A

- Floor or Wall Assembly — Min 8 in. (203 mm) thick floor or wall made from reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Floor assembly may also be constructed of any UL Classified Concrete Blocks*. Max diameter of opening is 4 in. (102 mm). See Concrete Blocks (CAZT) and Precast Concrete Units (CFTV) category in the Fire Resistance Directory for names of manufacturers.
- Through Penetrants — One to six nonmetallic tubes to be installed either concentrically or eccentrically within the firestop system. Multiple tubes to be lightly banded when installed within the opening. The annular space between the tube(s) and the periphery of opening shall be min 1/4 in. (6 mm) to max 1-1/4 in. (32 mm). Tubes to be rigidly supported on both sides of the floor or wall assembly. The following types and sizes of tubes may be used:
 - A. Crosslinked Polyethylene (PEX) Tubing — Nom 1 in. (25 mm) diam (or smaller) SDR 9 PEX tubing for use in closed (process or supply) piping systems.
- Firestop System — The firestop system shall consist of the following:
 - A. Fill Void or Cavity Material* — Sealant — Min 1 in. (25 mm) thickness of fill material applied within annulus, flush with top and bottom surface of floor or both surfaces of wall. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-ONE Sealant or FS-ONE MAX Intumescent Sealant.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

HILTI Firestop Systems

Reproduced by HILTI, Inc. Courtesy of Underwriters Laboratories, Inc. January 15, 2015



HAUSER
ARCHITECTS
3780 East 15th Street, Suite 201, Loveland, Colorado, 80538
E-mail: info@hauserarchitects.com

APARTMENT CONVERSION
721 4TH STREET
FORT LUPTON, CO 80621
FIRESTOP PENETRATION SEALANT
DETAILS

REVISIONS	DATE	DESCRIPTION
1 PERMIT SET	2025.05.16	

SHEET
A7.0

5/16/2025 9:35:06 AM

itects, P.C.

REVIEWED FOR CODE COMPLIANCE
These drawings have been reviewed for code compliance by the building department. Review of these plans does not constitute any other type of review or approval of the plans. Any necessary state or local code review shall be the responsibility of the contractor. Review of plans shall be the responsibility of the contractor in general compliance with the adopted code.

REVIEWED BY: [Signature]



To: FLURA Board
From: Zachary Mettler, Planner 1 & Liaison to FLURA
Date: July 17, 2025
Re: Action Memorandum to make a determination of a FLURA Building Renovation Grant Application for 721 4th St to renovate five offices into apartments

Hello FLURA Board,

Staff is in receipt of a Building Renovation Grant Program Application by the property owner of 721 4th. The work being proposed is to remodel the north portion of an existing 2-story building, turning five existing offices into five apartment units. The existing south portion of the building has no proposed changes associated with this grant.

The combined estimate of costs for the entire project are \$504,000.

The FLURA grant match request is between \$252,000.

The Program Guidelines list renovations to a building that are necessary to meet the requirements of the IBC/IFC as an eligible improvement. Several improvements are required, including but not limited to sprinklers, egress, and access.

The proposed change to apartments is still allowed from a Land Use perspective in the Downtown Zone District as a Mixed-Use building with the existing commercial uses.

The Board may decide to either not award the grant, or award it at an amount the Board feels is appropriate based on the submitted documents.

For further details, attached in the packet are Exhibits G and H. Exhibit G shows proposed floor plans. Exhibit H is one compiled PDF of all associated quotes and descriptions of work.